

**Village of Holmen
Planning Commission Minutes
January 31, 2023**

Village President Barlow called the Planning Commission meeting to order at 6:00 pm on Tuesday, January 31, 2023. Present were commission members Barlow, Stanek, Grokowsky, Appold, Kertis, and Nicklaus; along with advisory members Administrator Heinig and Engineer Dahl. Member Kulcinski was excused. Also in attendance were Chuck Olson, Tony Tomeshek, Ryan Buisman, Kris Roppe, and Matt Harper.

Public Hearings:

Petition for rezoning from owner Mathy Construction Company, for property on the North side of Hwy 35—immediately West of Hwy. 53; approximately 48.81 acres on parcels 14-2931-0 and 14-4002-0 from (A) Agricultural District to (B-2) General Business District; and approximately 25.25 acres on parcel 14-4001-0 from (A) Agricultural District to (L-I) Light Industrial District.

Motion by Stanek, seconded by Appold to open the public hearing. Carried 6-0.

Administrator Heinig explained the location of the proposed rezoning. He stated this is the 3rd phase of Business Park development on the property owned by Mathy Construction. The petition contains 2 zoning areas; one for Light Industrial and another for Commercial.

Chuck Olson stated he supports the rezoning and added this was the anticipated land use when the TIF district was established.

Tony Tomeshek representing Mathy Construction stated they have interest from potential buyers and they want to get the development started.

Motion by Nicklaus, seconded by Grokowsky to close the public hearing. Carried 6-0.

Approval of the October 25, 2022 minutes:

Motion by Kertis, seconded by Nicklaus to approve the minutes of the October 25, 2022 Meeting. Carried 6-0.

Public comment:

None

Agenda Items:

Possible Recommendation and Action of Petition for rezoning from owner Mathy Construction Company, for property on the North side of Hwy 35—immediately West of Hwy. 53; approximately 48.81 acres on parcels 14-2931-0 and 14-4002-0 from (A)

Agricultural District to (B-2) General Business District; and approximately 25.25 acres on parcel 14-4001-0 from (A) Agricultural District to (L-I) Light Industrial District.

Member Nicklaus asked for clarification of the Light Industrial zoning classification. Administrator Heinig stated this is typically used for warehousing, light manufacturing, and can cross into commercial use. It is generally cleaner in appearance to Industrial zoning which is be intended for heavy manufacturing.

Administrator Heinig stated the potential recommendation for rezoning would go to the Village Board for approval and a preliminary plat would be forthcoming at an upcoming Planning Commission meeting.

Motion by Stanek, seconded by Kertis to recommend approval of the petition for rezoning from owner Mathy Construction Company, for property on the North side of Hwy 35— immediately West of Hwy. 53; approximately 48.81 acres on parcels 14-2931-0 and 14-4002-0 from (A) Agricultural District to (B-2) General Business District; and approximately 25.25 acres on parcel 14-4001-0 from (A) Agricultural District to (L-I) Light Industrial District. Carried 6-0.

**Possible Recommendation and Action on Site Plan & Architectural Review (SPAR)
Petition from owner Matthew Harper, of Ragz Shop, LLC, for a new 5-unit commercial business condo with residence at 1749 Cole Court**

Administrator Heinig located the parcel under consideration at the end of Cole Court, west of Holmen Drive, and north of USH 53. He stated the parcel is zoned B-2 and the proposed business condo is zoning compliant. The building is broken into 5 individual units with the 5th unit also having a residence above the unit. This is a permissible use under B-1 zoning and therefore is allowed in B-2 zoning. He stated the exterior of the building uses a brick masonry product with LP siding above to make up the balance. He stated the south elevation used the products in the correct percentages except for the area along the offset corner between the 4th and 5th unit. He stated this should be changed to be compliant or be noted as an exception. He stated that the west elevation met the requirements and noted an area for potential signage. He stated the east elevation met requirements and noted this would be the side of the building facing Holmen Drive although it may be screened by the adjacent lot. The south elevation faces a single-family residence. He stated that this didn't meet the material percentage requirements, and recommended a 4' masonry border be added to bring into compliance, and to wrap the entire area under the residence with masonry for aesthetics toward Holmen Drive. Lastly, he stated that a landscape, lighting and signing plan is needed, but said they could be submitted and approved administratively at a later time.

Member Stanek noted the discrepancy between sheets C-1 and A-2; with A-2 not showing the offset between the 4th and 5th units. He asked if the brick material would be required on both wall faces of the corner. Administrator Heinig stated the offset is planned and that the masonry material would be required on both wall faces.

Member Kertis asked if a fence would be required around the south property line to screen the building from the single-family residence. Administrator Heinig stated a fence isn't required and added the elevations between the properties would prevent a fence from effectively screening the building anyhow.

Motion by Stanek, seconded by Nicklaus to recommend approval of the Site Plan & Architectural Review (SPAR) Petition from owner Matthew Harper, of Ragz Shop, LLC, for a new 5-unit commercial business condo with residence at 1749 Cole Court contingent upon the addition of the noted brick masonry and administrative approval of the landscaping, lighting, and sign plan. Finding that the purposes of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design. Carried 6-0.

Possible Recommendation and Action on Site Plan & Architectural Review (SPAR) Petition from owner Village of Holmen, for a new well pumphouse off Old Hwy 93 within Seven Bridges Park.

Administrator Heinig explained that the site is located along Old Hwy 93, west of Horton Street in the southeast corner of the Seven Bridges Park. He stated the Village has secured the DNR permits to construct a new well and wellhouse on the parcel in the summer of 2023. He stated this building doesn't require SPAR approval, but he wanted to bring it to the attention of the committee. The design and material selection for the wellhouse was intended to give it the appearance of a house using the same theme and colors of the Seven Bridges Park shelter. He pointed out the materials chosen are SPAR compliant. The landscaping plan is complimentary to the adjacent park. The vinyl fence around the back of the building is required to keep the wellhead area secure. Lastly, he stated there are no site lights, only building mounted security lighting.

Motion by Stanek, seconded by Appold to recommend approval of the Site Plan & Architectural Review (SPAR) Petition from owner Village of Holmen, for a new well pumphouse off Old Hwy 93 within Seven Bridges Park. Finding that the purposes of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, and site landscaping. Carried 6-0.

Updates and other informational items from and before the Planning Commission:

Administrator Heinig stated there would be a plat for sure and a possible SPAR for consideration next month.

Adjourn:

Motion by Appold, seconded by Grokowsky to adjourn at 6:30 pm. Carried 6-0.

Minutes prepared by Chris Dahl, Village Engineer.

Village of Holmen
La Crosse County, WI

Notice of Public Hearing on a Change of Zoning (Rezoning) Petition

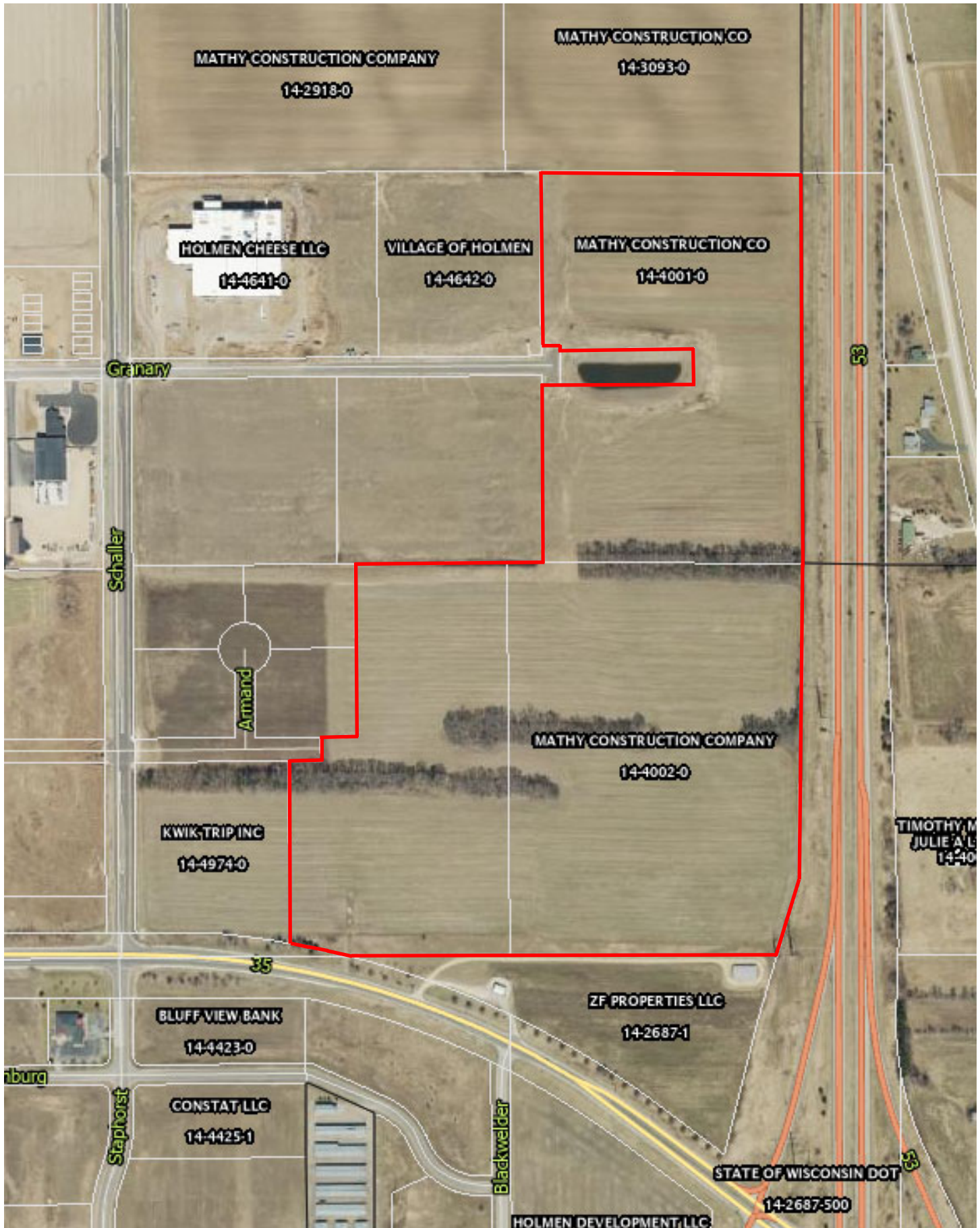
NOTICE IS HEREBY GIVEN that the Holmen Village Planning Commission will hold a Public Hearing during their Regular Meeting in the Holmen Village Hall, at 421 S. Main Street, Holmen, WI, 54636, on the 31th day of January, 2023, at 6:00pm, on the proposed Change of Zoning (Rezoning) Petition as follows:

Mathy Construction Company (owner) is petitioning for a rezone of approximately 48.81 acres on parcels 14-2931-0 and 14-4002-0 (property on the North side of Hwy 35—immediately West of Hwy. 53), from (A) Agricultural District to (B2) General Business District; and approximately 25.25 acres on parcel 14-4001-0 from (A) Agricultural District to (LI) Light Industrial District, all in accordance with a proposed development plan for that area. The Village of Holmen Comprehensive Plan and Future Land Use designation for the properties, generally support Commercial and Industrial Uses.

All pursuant to applicable Wisconsin Statutes and Holmen Village Ordinances, all interested parties are welcome to attend and may be heard during the public hearing. For more information prior to the public hearing, the petition is on file at the office of the Holmen Village Clerk, La Crosse County, Wisconsin, 421 Main Street, 54636, or you may contact the Village Administrator at 608-526-4336.

HOLMEN VILLAGE BOARD
BY: Scott Heinig, Village Administrator

To be published: January 13 and January 20, 2023



MATHY CONSTRUCTION COMPANY
14-2918-0

MATHY CONSTRUCTION CO
14-3093-0

HOLMEN CHEESE LLC
14-4641-0

VILLAGE OF HOLMEN
14-4642-0

MATHY CONSTRUCTION CO
14-4001-0

Granary

32

Schaller

Armand

MATHY CONSTRUCTION COMPANY
14-4002-0

KWIK-TRIP INC
14-4974-0

TIMOTHY M
JULIE A L
14-40

35

BLUFF VIEW BANK
14-4423-0

ZF PROPERTIES LLC
14-2687-1

iburg

Staphorst

CONSTAT LLC
14-4425-1

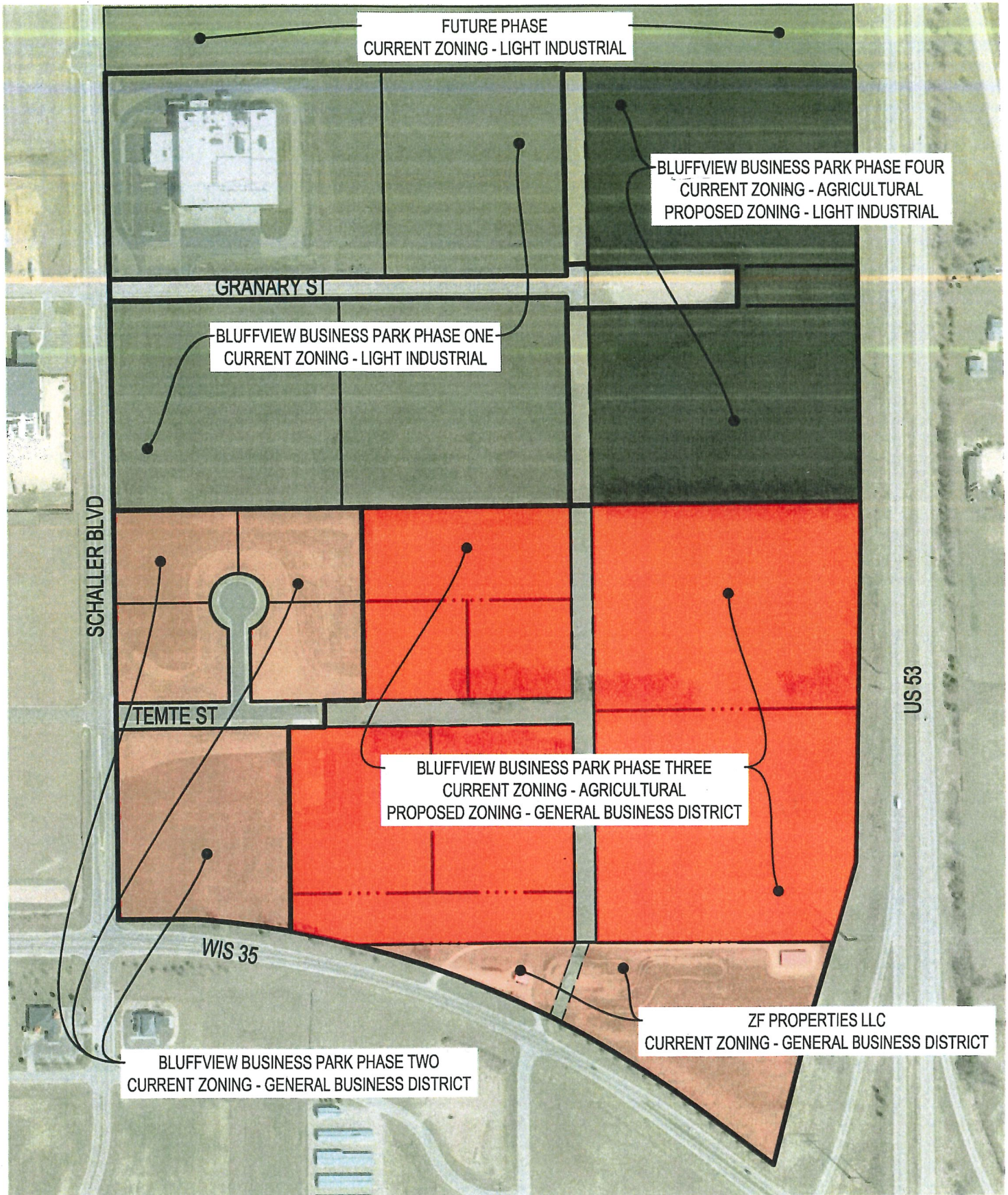
Blackwelder

STATE OF WISCONSIN DOT

33

14-2687-500

HOLMEN DEVELOPMENT LLC



LAND USE MAP



Architecture + Engineering + Environmental + Planning
ISGInc.com

BLUFFVIEW BUSINESS PARK

HOLMEN, WISCONSIN - -
ISG PROJECT NO. 22-26300





Aluminum Railings:
Dark Bronze

Roof Shingles: GAF Fiberglass - "Weathered Wood"

Soffit / Gutter / Downspout/ Fascia: Color to Match Trim - "Oyster Shell"

Masonry: Nichiha "Canyon Brick"

Exterior Siding:
LP 'Smart Side'
Diamond Kote - "Terra Bronze"

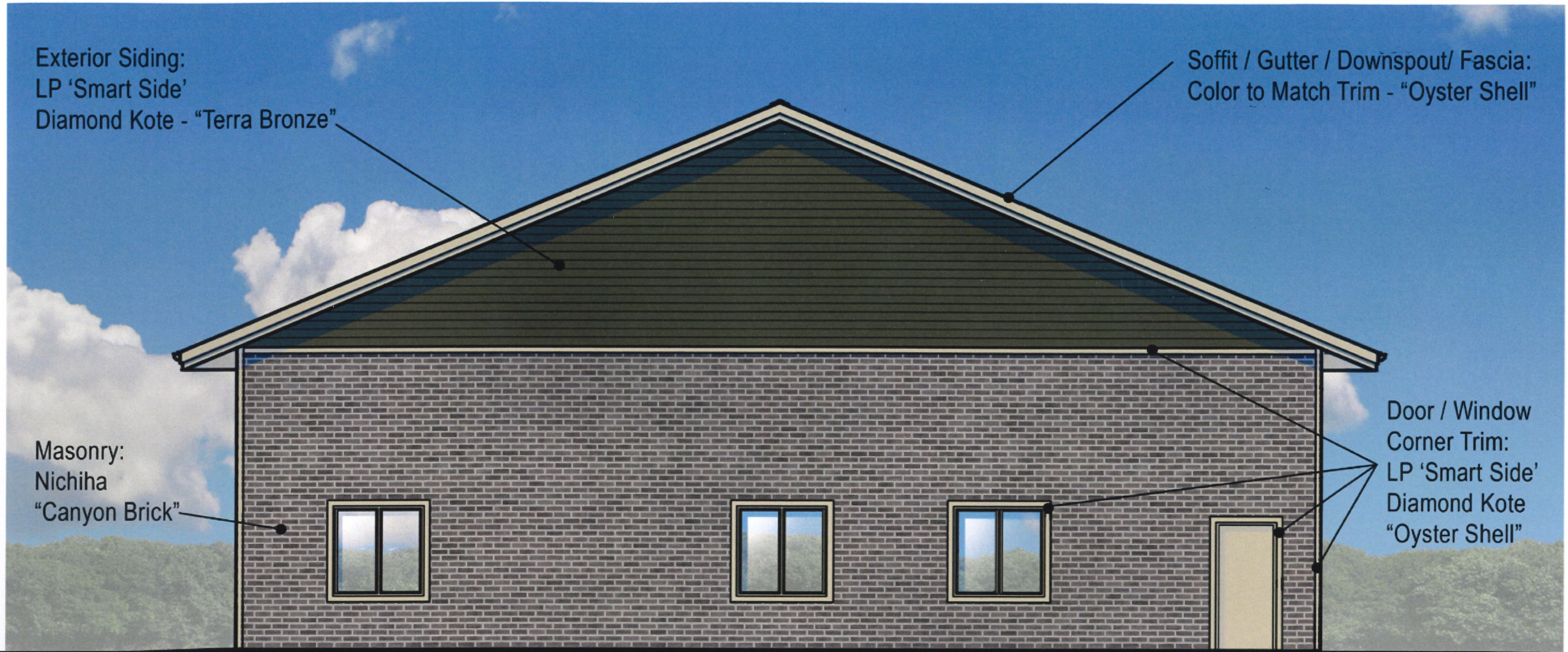
Overhead Doors / Man Doors / Windows: Color to Match Trim - "Oyster Shell"

Door / Window / Corner Trim:/ Fascia:
LP 'Smart Side' Diamond Kote - "Oyster Shell"

NORTH ELEVATION



CASHMAN ASSOCIATES, INC.
GREGORY M. CASHMAN, AIA, NCARB



Exterior Siding:
LP 'Smart Side'
Diamond Kote - "Terra Bronze"

Soffit / Gutter / Downspout/ Fascia:
Color to Match Trim - "Oyster Shell"

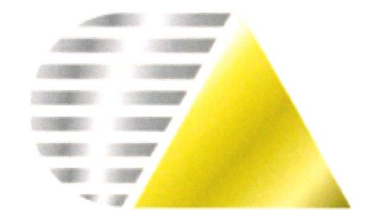
Masonry:
Nichiha
"Canyon Brick"

Door / Window
Corner Trim:
LP 'Smart Side'
Diamond Kote
"Oyster Shell"

WEST ELEVATION



EAST ELEVATION



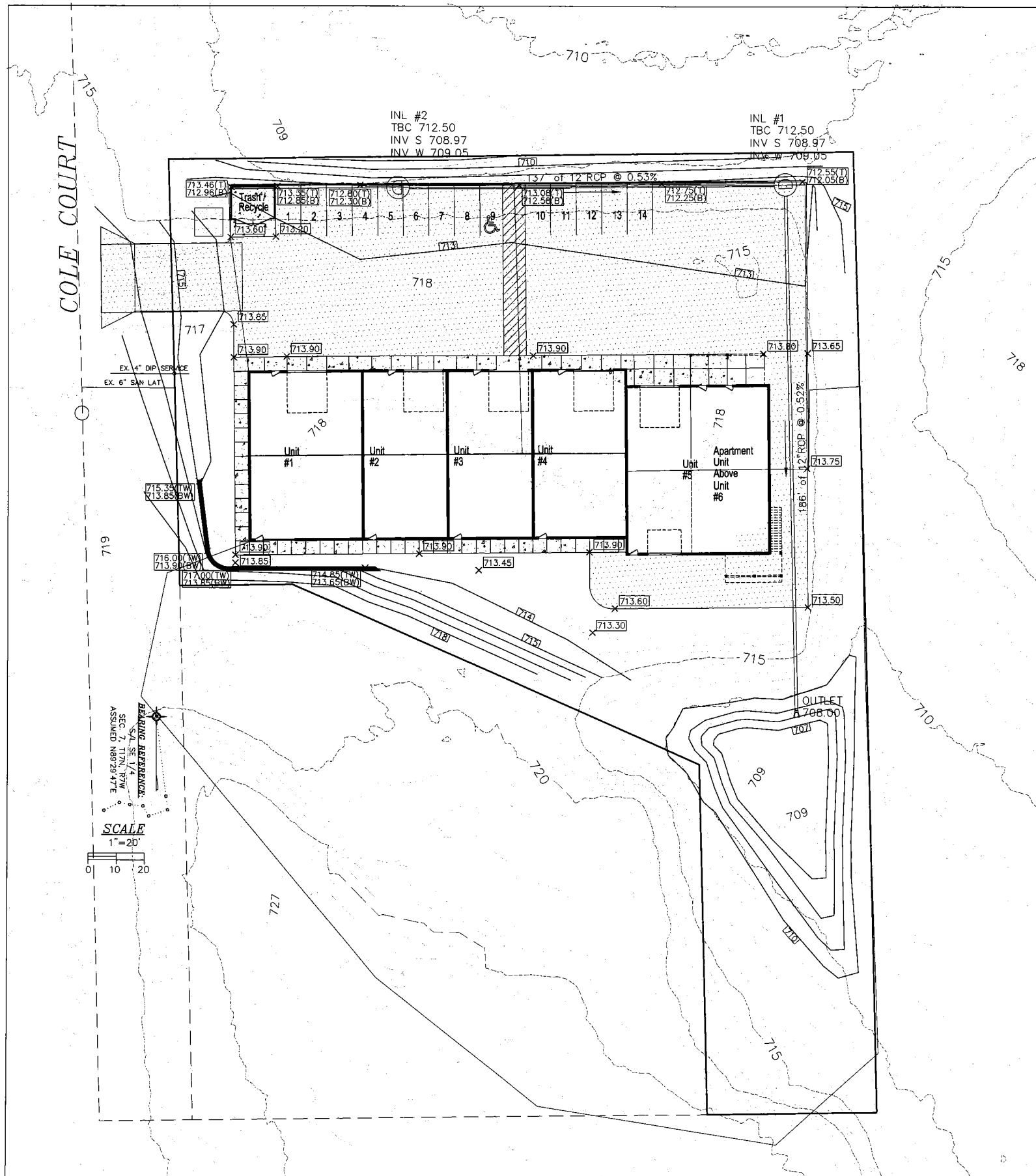
CASHMAN ASSOCIATES, INC.
GREGORY M. CASHMAN, AIA, NCARB



SOUTH ELEVATION



CASHMAN ASSOCIATES, INC.
GREGORY M. CASHMAN, AIA, NCARB



UTILITY NOTES

- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities.
CALL DIGGERS HOTLINE (800)-242-8511.

- Field verify all locations and invert elevations prior to commencing work.
- All Sanitary Sewer piping shall be per Village of Holmen Specs.
- Water Lines shall be per Village of Holmen Specs.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Contractor shall comply completely with the latest standards of OSHA Directives or any other agency having jurisdiction for excavation and trenching procedures.
- Contractor is responsible for complying with performance criteria as required by OSHA.

GRADING NOTES

- There may be underground utility installations within the project area that are not shown.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Contours shown are for finished surfaces, any adjustment to subgrade is the contractor's responsibility.
- All disturbed areas shall have a minimum of 6" topsoil.
- All finished grading shall provide for a smooth transition to ungraded areas.
- A temporary berm shall be constructed to divert storm runoff from entering disturbed areas from off-site.

EXCAVATION

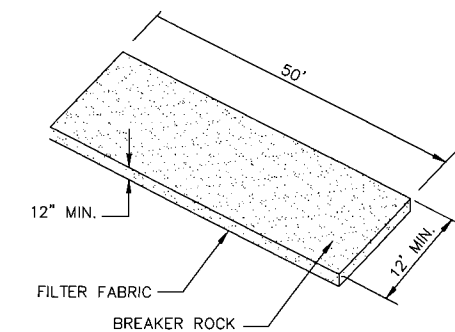
The excavated area shall be stripped of topsoil (4"-6") and stored separately and used to establish finished grades.

TOPSOIL REPLACEMENT, SEEDING, FERTILIZING & MULCHING

- All disturbed areas shall have topsoil applied, seeded, mulched, and fertilized within 7 days of final disturbance.
- Seed shall be planted in a manner that allows the seed to be worked in to the soil and come in firm contact with the soil. Seeding and mulching shall be accomplished using the following materials and methods:
 - 6" of topsoil shall be placed on all areas within the project limits except where another surface treatment is specified.
 - Erosion mat shall be used in place of mulch where specified. Erosion mat shall be installed to conform with WDNR Technical Standard 1052.
 - Seed mix shall be Sunny Place Turfgrass Mix, (or approved equivalent) at rate per specifications.
 - Mulching with straw shall consist of evenly spreading (3) 40 lb. bales of clean wheat or oat straw per 1000 s.f. of disturbed area covered.
- Parking lot shall consist of 3" Bituminous and 8" compacted aggregate base.

LEGEND:

- INLET PROTECTION, TYPE D
- PROPOSED GRADE
- VEHICLE TRACKING PAD
- SILT FENCE
- CONCRETE
- CLASS 1, TYPE B EROSION MAT
- 10'x10' CONCRETE WASHOUT AREA
- ENGINEERED SOIL AREA, SEE DETAIL

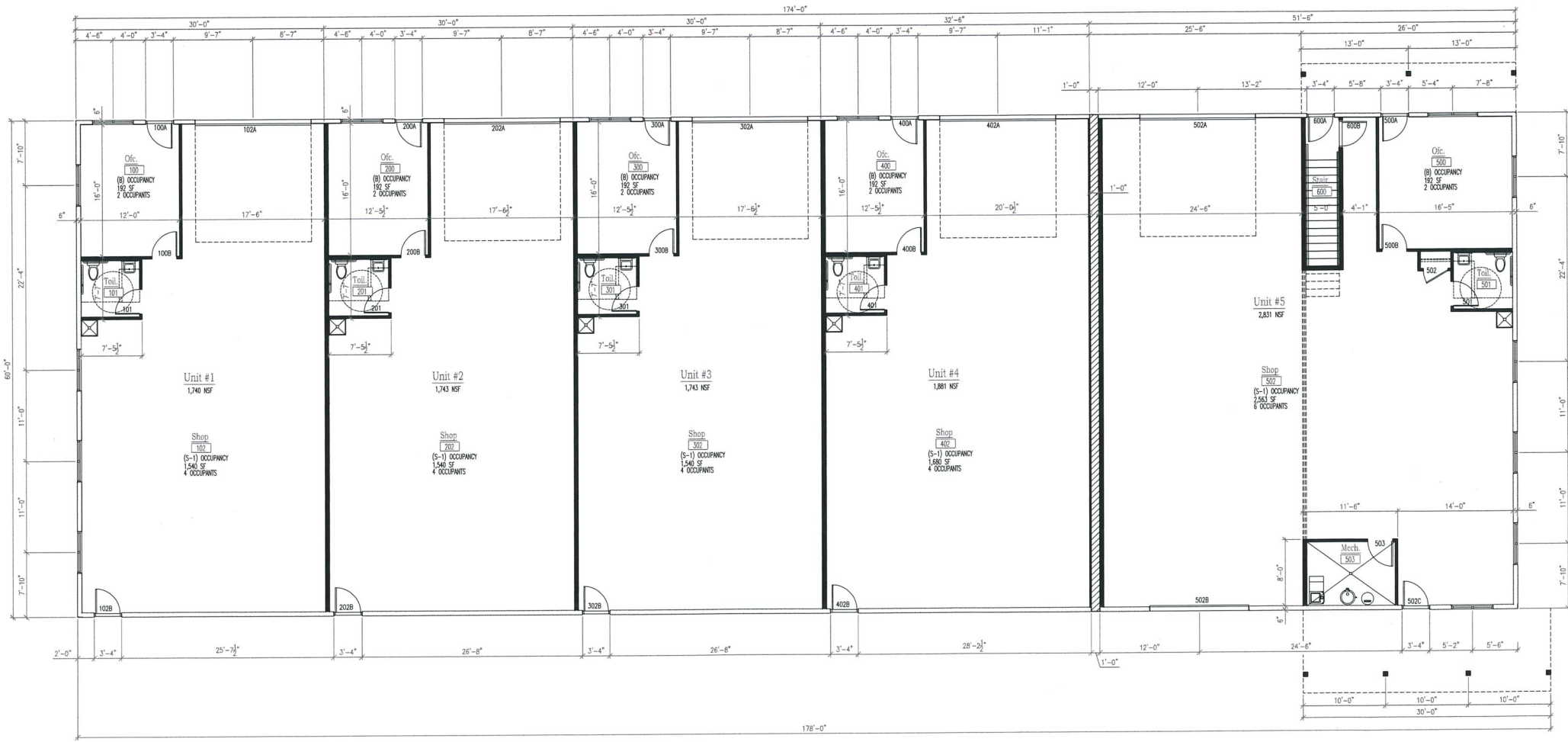


VEHICLE TRACKING CONTROL
NO SCALE

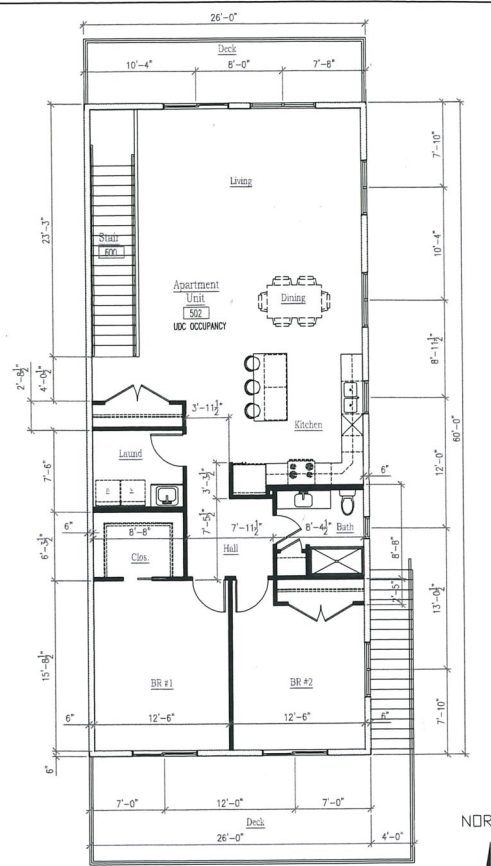


RAGZ SHOP
COLE COURT
HOLMEN, WI
GRADING PLAN

DATE: 1/16/2023
FILE: HARPER_GRADING
DRAWN BY: F.J.H.



1 MAIN FLOOR PLAN
1/8" = 1'-0"



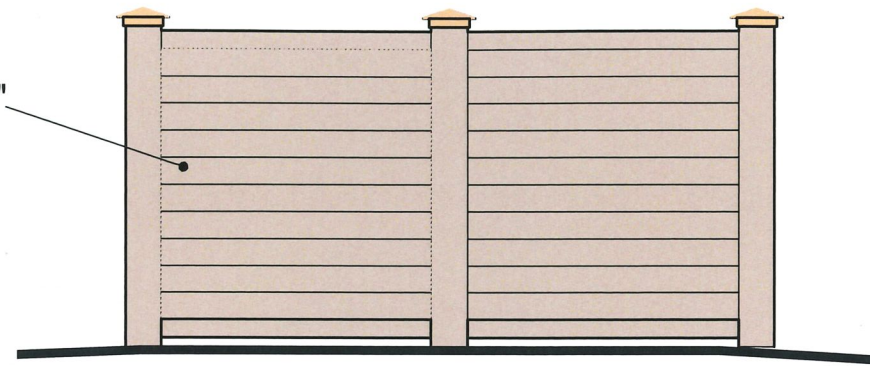
2 SECOND FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES** SHEET A2.0
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ALL SIGNIFICANT DISCREPANCIES.
 - REFER TO DETAIL X/ A2.1 FOR PARTITION TYPES.
 - REFER TO SHEET A2.1 FOR DOOR/ FRAME/ HARDWARE SCHEDULES.
 - REFER TO ELEVATIONS, SHT. A3.0, AND SAME SHEET, FOR EXTERIOR WINDOW TYPES AND LOCATIONS.
 - REFER TO STANDARD MOUNTING HEIGHTS, DET 6 / A2.1 FOR ADA MOUNTING HEIGHT DETAIL. DIMENSIONS TYPICAL. DIMENSION LINES ARE LOCATED FROM FACE-OF-STUD -OR- TO FACE-OF-MASONRY- TYPICAL.
 - REFER TO ELEVATIONS & DETAIL 5 / A3.0 FOR EXTERIOR WINDOW TYPES AND LOCATIONS.
 - REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL FOOTINGS, FOUNDATION WALLS, BEAMS, AND HEADERS.
 - PROPOSED AND EXISTING ELEVATIONS ARE SHOWN AS:
FOR THIS PROJECT- COORDINATE SURVEY GRADE ELEVATION MAIN LEVEL F.F.E.
EL= 100'-0"
 - WINDOW SILLS:
ALL WINDOW SILLS SHALL BE 1/2" SOLID SURFACE W/ 2-1/4" COLONIAL OAK TRIM.
VENT TO EXTERIOR.
 - PROVIDE BATH FANS IN ALL BATHROOMS-SIZE PER CODE PER BATHROOM.
 - INSTALL CARBON MONOXIDE DETECTORS IN ALL UNITS PER CODE REQUIREMENTS.

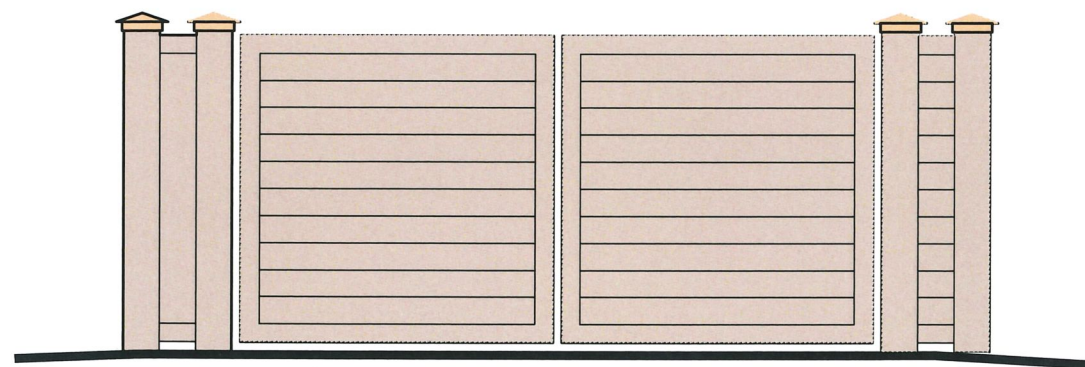
- KEYED NOTES** SHT. A2.0
- P-LAMINATE COUNTER W/ BASE CABINETS
 - UPPER WALL CABINETS
 - REFRIGERATOR / FREEZER
 - DROP-IN STAINLESS STEEL SINK
 - SHELF W/ CLOSET ROD
 - 1-1/2" DIA OAK HAND RAILING
 - FURNACE UNIT
 - WATER HEATER
 - WATER SOFTENER
 - 24"X24" FLOOR-MOUNT MOP SINK
PROVIDE 4'-0" HIGH FRP BOARD FINISH BACKUP WALL BEHIND SINK LOCATION
 - FIRE EXTINGUISHER CABINET, SEMI-RECESSED
FIRE EXTINGUISHER: ORDINARY HAZARD- 2-A-B-C RATED
WALL MOUNTING: TOP-OF-EXTINGUISHER
Ø 42" ABOVE FINISHED FLOOR
 - 24" X 48" ATTIC ACCESS SCUTTLE W/ LADDER



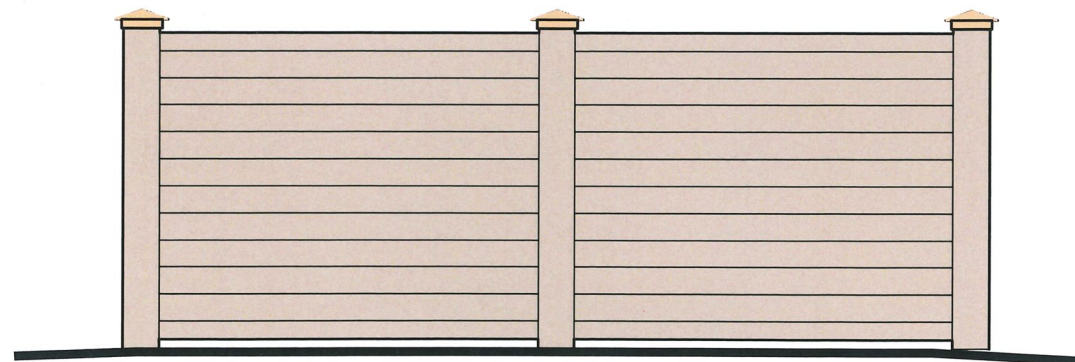
Exterior Siding:
LP 'Smart-Side' -
Diamond Kote- "Terra Bronze"
Typical Entire Enclosure



Sides



Front



Rear

DUMPSTER ENCLOSURE

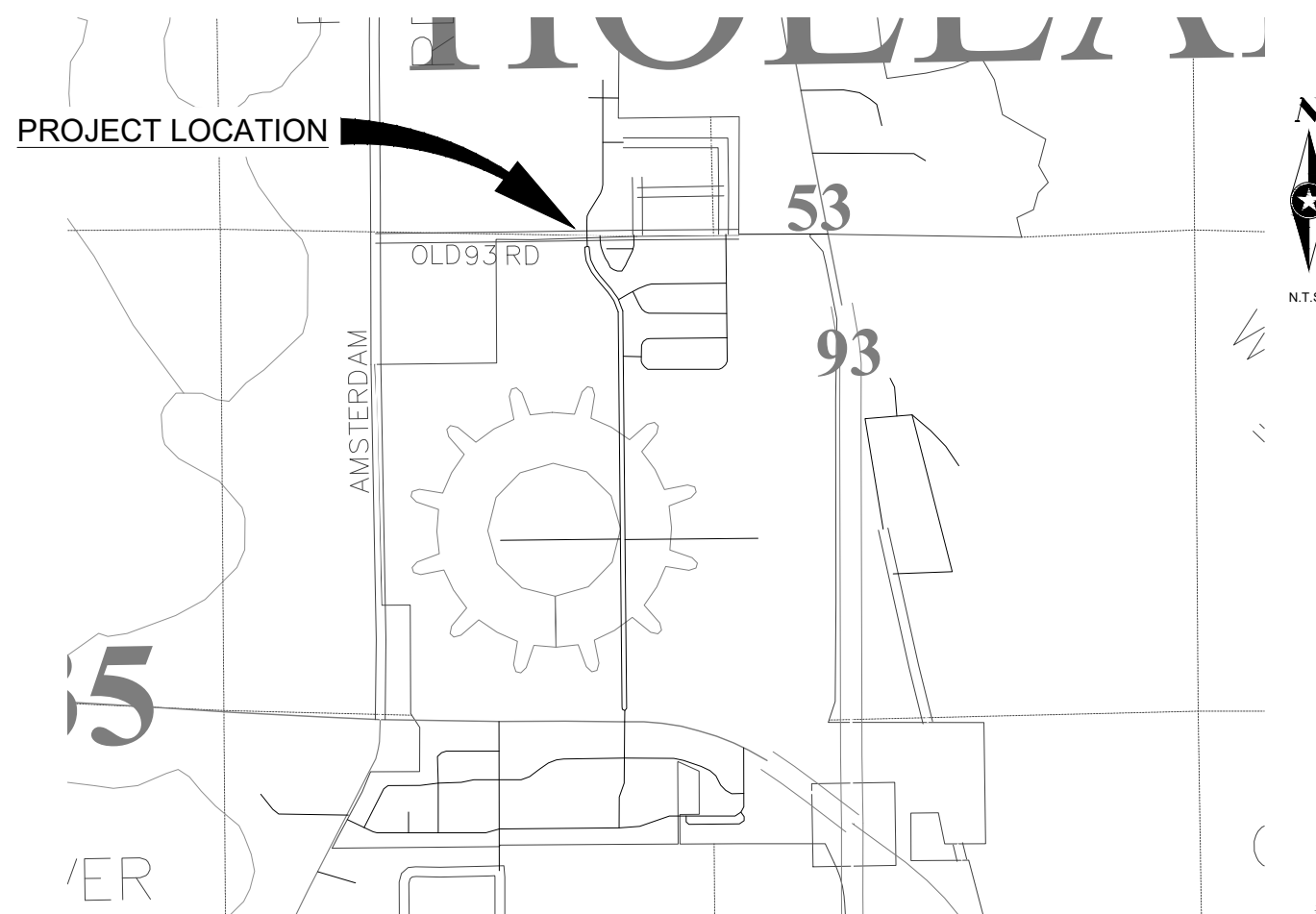
No Scale

VILLAGE OF HOLMEN, WISCONSIN

CONSTRUCTION PLANS FOR

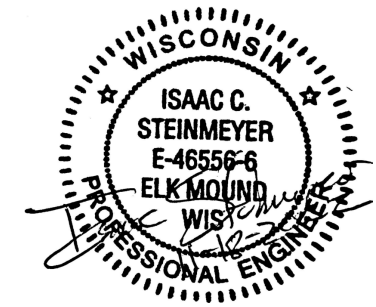
WELL NO. 8 PUMPHOUSE

OCTOBER 2022

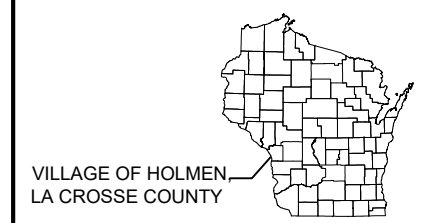


EXISTING	
---	RIGHT OF WAY
---	PERMANENT EASEMENT
---	PROPERTY LINE
△ ^{XX}	HORIZONTAL CONTROL POINT
×	BENCHMARK
●	SURVEY MARKER
⊕	SOIL BORING
—○—	SANITARY SEWER AND MANHOLE
—□—	FORCE MAIN AND LIFT STATION
—○—	SANITARY SEWER SERVICE & CLEANOUT
—○—	WATER MAIN, HYDRANT, VALVE AND MANHOLE
—○—	WATER SERVICE AND CURB STOP BOX
—□—	STORM SEWER, MANHOLE AND CATCH BASIN
—□—	CULVERT AND APRON ENDWALL
—○—	GAS MAIN, VALVE, VENT AND METER
—□—	HANDHOLE
—○—	BURIED FIBER OPTIC CABLE AND MANHOLE
—○—	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
—○—	BURIED TV CABLE, PEDESTAL AND MANHOLE
—○—	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
—○—	OVERHEAD WIRE, POLE AND GUY WIRE
⊕	LIGHT POLE
⊕	TRAFFIC SIGNAL
⊕	STREET NAME SIGN
⊕	SIGN (NON STREET NAME)
	RAILROAD TRACKS
⊕	DECIDUOUS AND CONIFEROUS TREE
⊕	BUSH / SHRUB AND STUMP
~~~~~	EDGE OF WOODED AREA
WET	WETLAND
—	BUILDING
—X—	FENCE (UNIDENTIFIED)
—X—	BARBED WIRE FENCE
—XC—	CHAIN LINK FENCE
—XE—	ELECTRIC WIRE FENCE
—XWD—	WOOD FENCE
—XWW—	WOVEN WIRE FENCE
—	PLATE BEAM GUARDRAIL
—	CABLE GUARDRAIL
—○—	POST / BOLLARD
—	RETAINING WALL
6+00	PROPOSED
---	STREET CENTERLINE
---	RIGHT-OF-WAY
---	PERMANENT EASEMENT
---	TEMPORARY EASEMENT
---	CONSTRUCTION LIMITS
—○—	SANITARY SEWER, BULKHEAD AND MANHOLE
—□—	FORCE MAIN
—○—	SANITARY SERVICE AND CLEANOUT
—○—	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
—○—	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
—○—	WATER SERVICE AND CURB STOP BOX
—□—	STORM SEWER, MANHOLE AND CATCH BASIN
—□—	CULVERT AND APRON ENDWALL
—	DRAIN TILE
—	DITCH / SWALE
—	RIPRAP
⊕	STREET NAME SIGN
⊕	SIGN (NON STREET NAME)
—	RETAINING WALL

## BIDDING DOCUMENTS



### PROJECT LOCATION



### HOLMEN, WISCONSIN

NOTE:  
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D.  
THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE  
GUIDELINES OF C/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE  
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE DIGGERS HOTLINE SYSTEM AT 811  
BEFORE COMMENCING EXCAVATION.



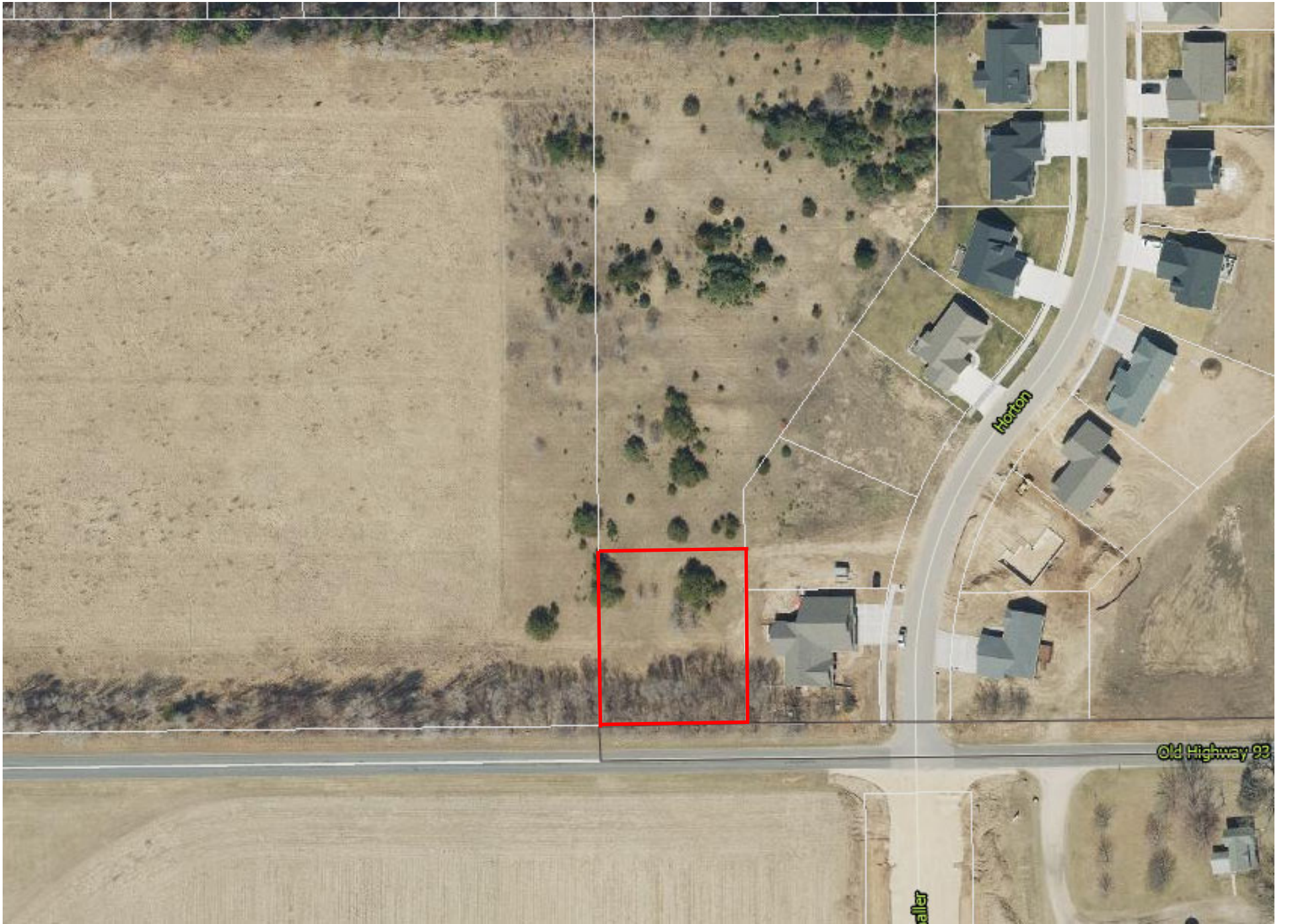
Know what's below.  
Call before you dig.

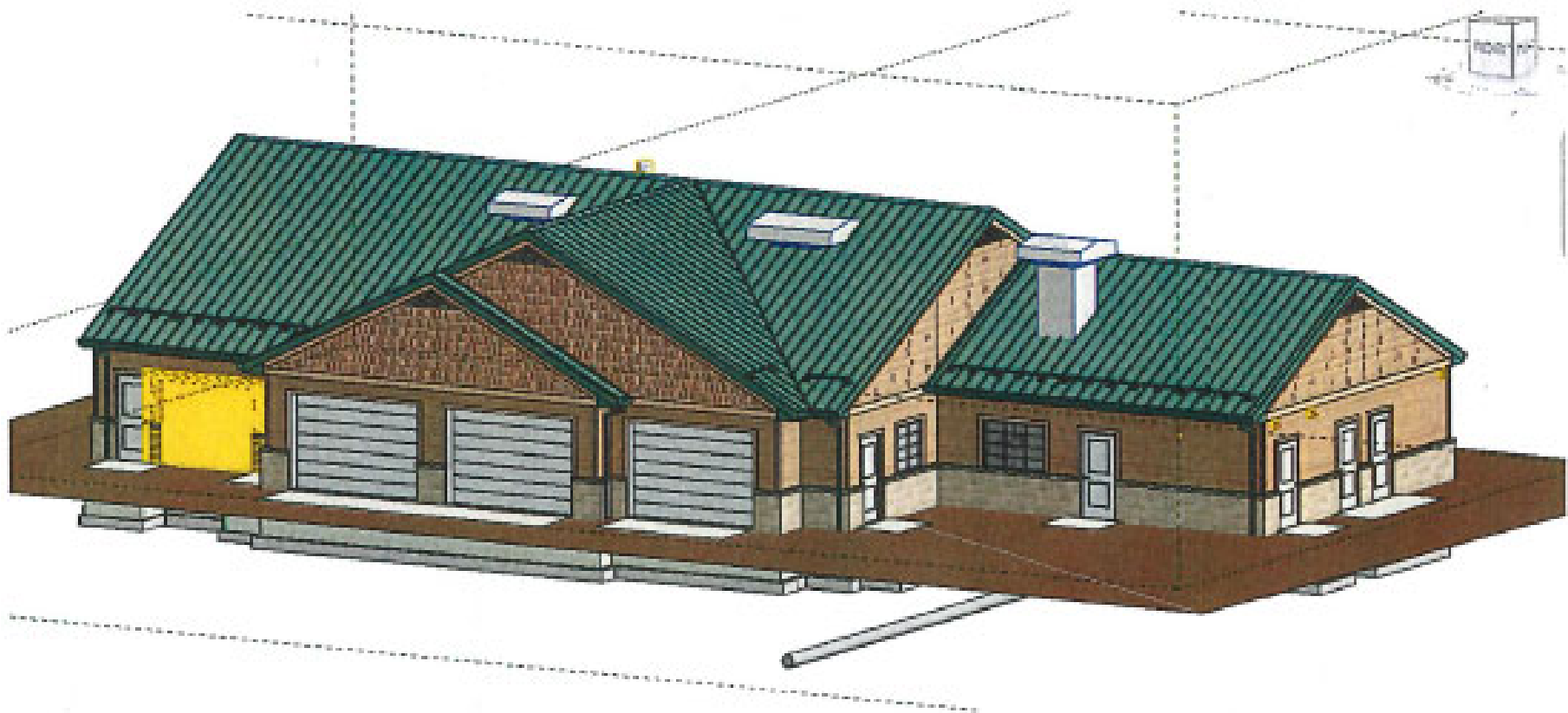


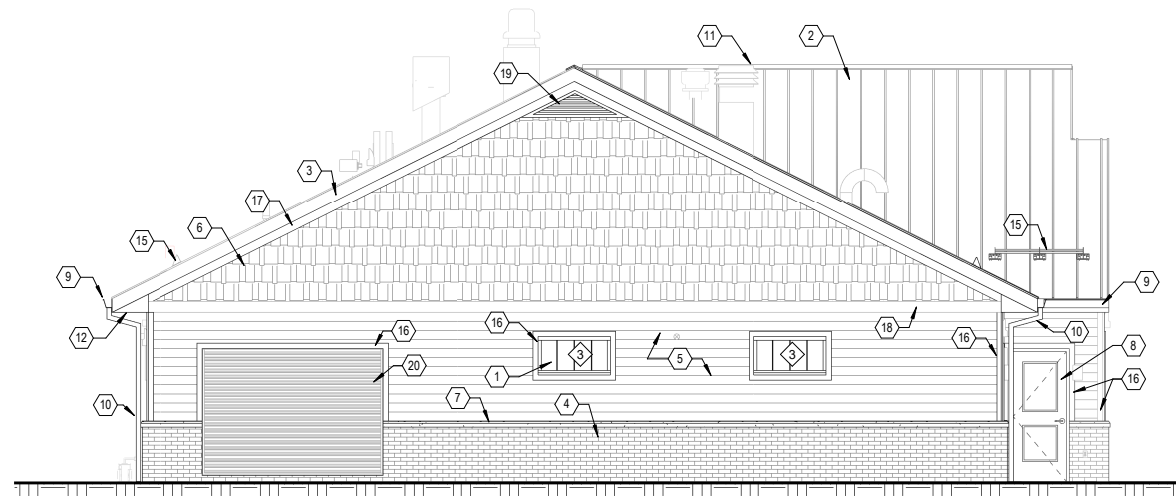
FILE NO.  
HO155850

G001

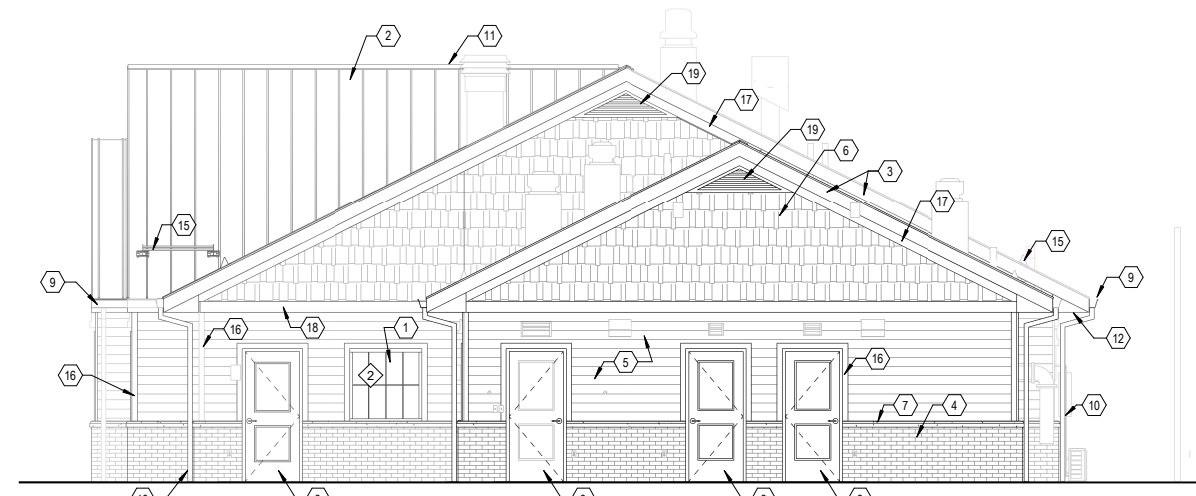
Save: 10/4/2022 3:02 PM cmcalson Plot: 10/4/2022 3:18 PM X:\F\H\HOL\MV155850\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\Well No. 8 Pump House\HO155850\TL.dwg



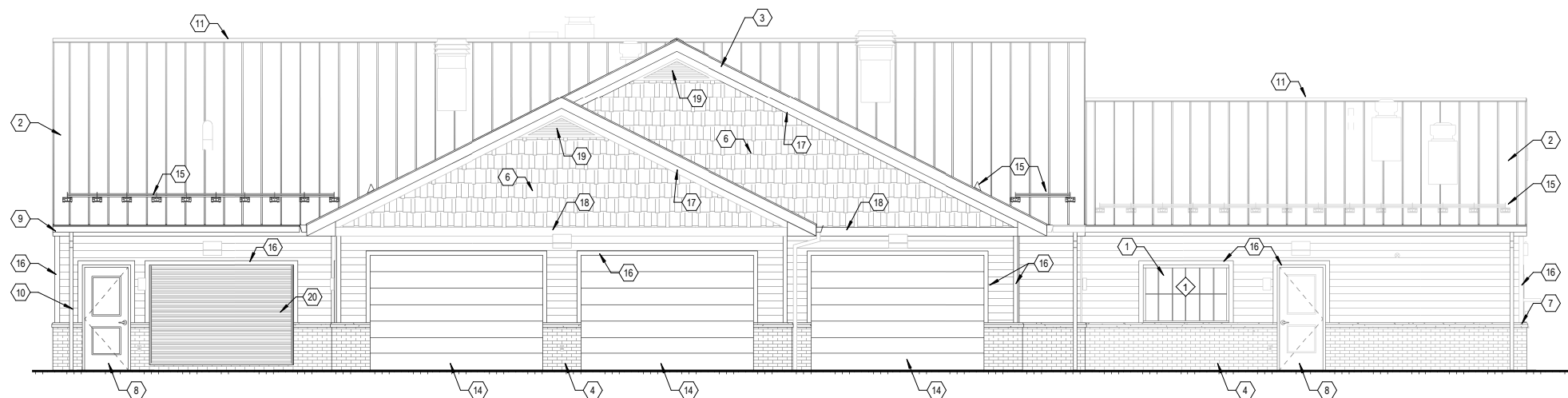




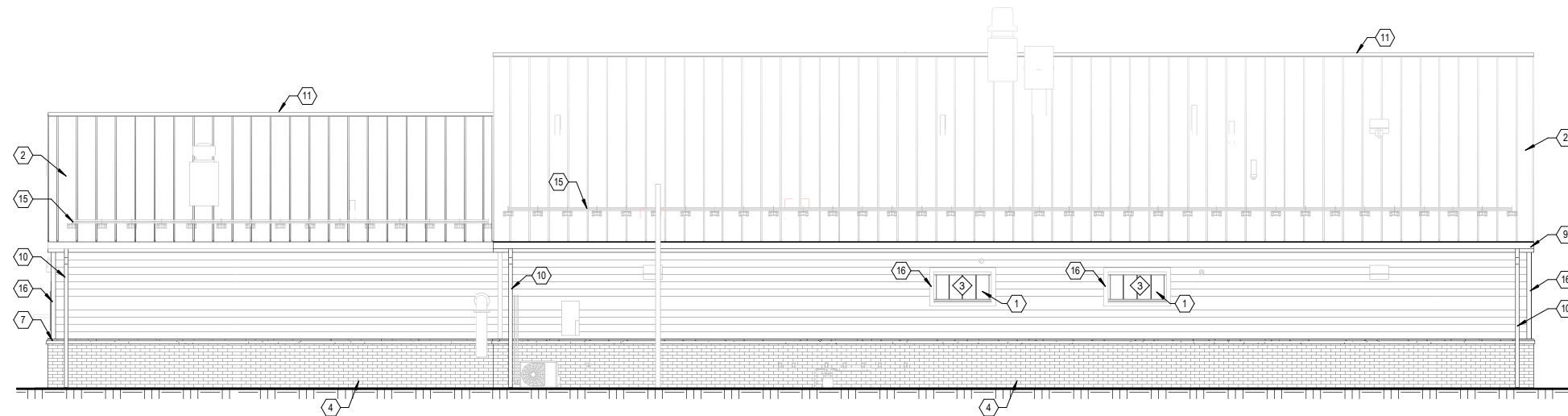
**1 WEST ELEVATION**  
A201  
3/16" = 1'-0"



**2 EAST ELEVATION**  
A201  
3/16" = 1'-0"



**3 SOUTH ELEVATION**  
A201  
3/16" = 1'-0"



**4 NORTH ELEVATION**  
A201  
3/16" = 1'-0"

**EXTERIOR ELEVATION KEYNOTES:**

- 1 2-3/4" INSULATED TRANSLUCENT FIBERGLASS SANDWICH PANEL WALL SYSTEM
- 2 STANDING SEAM METAL ROOF
- 3 PREFINISHED METAL FASCIA
- 4 BRICK VENEER
- 5 PREFINISHED COMPOSITION SIDING - LAP
- 6 PREFINISHED COMPOSITION SIDING - SHAKE
- 7 SLOPED PRECAST SILL
- 8 CORROSION RESISTANT DOOR AND FRAME
- 9 PREFINISHED METAL GUTTER 4"W X 6" DEEP
- 10 PREFINISHED METAL DOWNSPOUT WITH CONCRETE SPLASHBLOCK
- 11 CONTINUOUS RIDGE VENT
- 12 PREFINISHED METAL VENTED SOFFIT
- 13 CONTROL JOINT
- 14 INSULATED SECTIONAL OVERHEAD DOOR
- 15 SNOWGUARD SYSTEM
- 16 1 X 3 1/2" PREFINISHED COMPOSITION TRIM BOARD
- 17 1 X 5 1/2" PREFINISHED COMPOSITION TRIM BOARD
- 18 1 X 7 1/4" PREFINISHED COMPOSITION TRIM BOARD
- 19 NON FUNCTIONAL TRIANGLE LOUVER. DESIGN IS BASED ON PRODUCTS FROM FYPON. TRIANGLE - 6.12 PITCH. APPROXIMATELY 18" X 72" COLOR: PAINTED TO MATCH SIDING.
- 20 LOUVER. SEE MECHANICAL DRAWINGS

**EXTERIOR ELEVATION GENERAL NOTES:**

1. FIELD VERIFY ALL DIMENSIONS
2. PAINT ALL EXTERIOR EXPOSED MECHANICAL AND ELECTRICAL PIPING

11/22/2022 9:13:28 AM

C:\Users\jlynch\Documents\01155850_Pumphouse_R20_Arch_jlynch.rvt

329 Jay Street, Suite 301  
La Crosse, WI 54601-4034  
Phone: 608.785.3161  
Fax: 608.785.3162  
www.sehinc.com



**WELL NO. 8 PUMPHOUSE**  
**VILLAGE OF HOLMEN, WI**

MARK	DATE	DESCRIPTION	REVISIONS

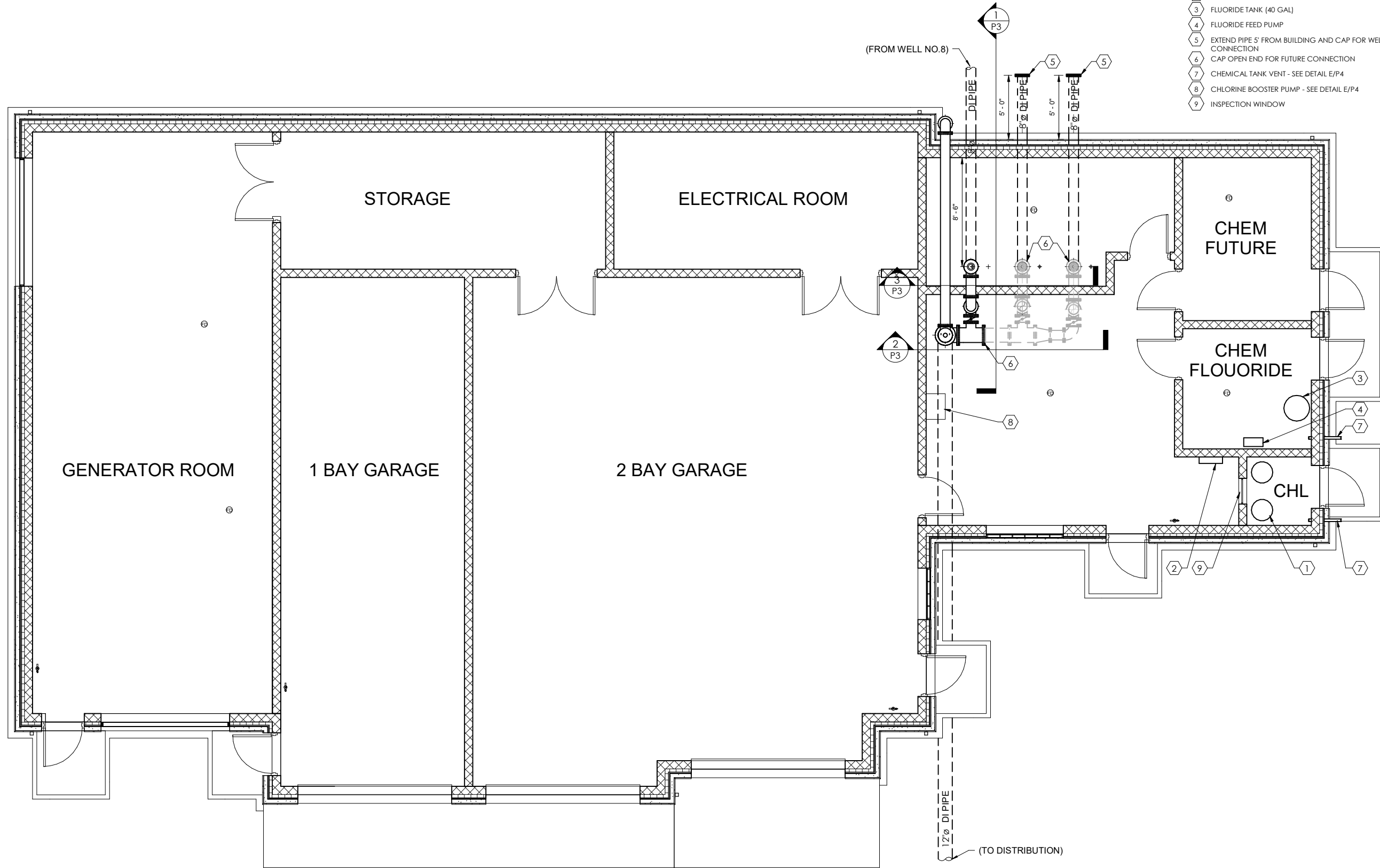
FILE NO.	155850
CITY PROJECT NO.	JRL
ISSUE DATE	OCT 2022
DESIGNED BY	JRL
DRAWN BY	JRL

Seibert, Elliott, Henderson, Inc. © (SEH)

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET  
**A201**

C:\Users\adamieleson\OneDrive - Short Elliott Hendrickson, Inc.\Documents\01_153850_Pumphouse_R20_Process_adamieleson.rvt 11/17/2022 10:20:56 AM



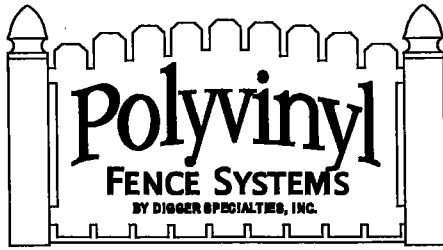
- KEYNOTES**
- 1 CHLORINE GAS CYLINDERS (150 LB)
  - 2 CHLORINE FEED PANEL
  - 3 FLUORIDE TANK (40 GAL)
  - 4 FLUORIDE FEED PUMP
  - 5 EXTEND PIPE 5' FROM BUILDING AND CAP FOR WELL FUTURE CONNECTION
  - 6 CAP OPEN END FOR FUTURE CONNECTION
  - 7 CHEMICAL TANK VENT - SEE DETAIL E/P4
  - 8 CHLORINE BOOSTER PUMP - SEE DETAIL E/P4
  - 9 INSPECTION WINDOW

MARK	DATE	DESCRIPTION	REVISIONS

FILE NO.	HOLMV 155850
CITY PROJECT NO.	OCT. 2022
ISSUE DATE	TL
DESIGNED BY	DD
DRAWN BY	DD

Short Elliott Hendrickson, Inc. © (SEH)





DIGGER SPECIALTIES INC.  
 3446 US 6 EAST  
 BREMEN, IN 46506  
 TOLL FREE: 1-800-446-7659  
 PHONE: (574) 546-5999  
 FAX: (574) 546-6388  
 www.diggerspecialties.com

SELECT DESIRED COLOR:

- WHITE
- TAN

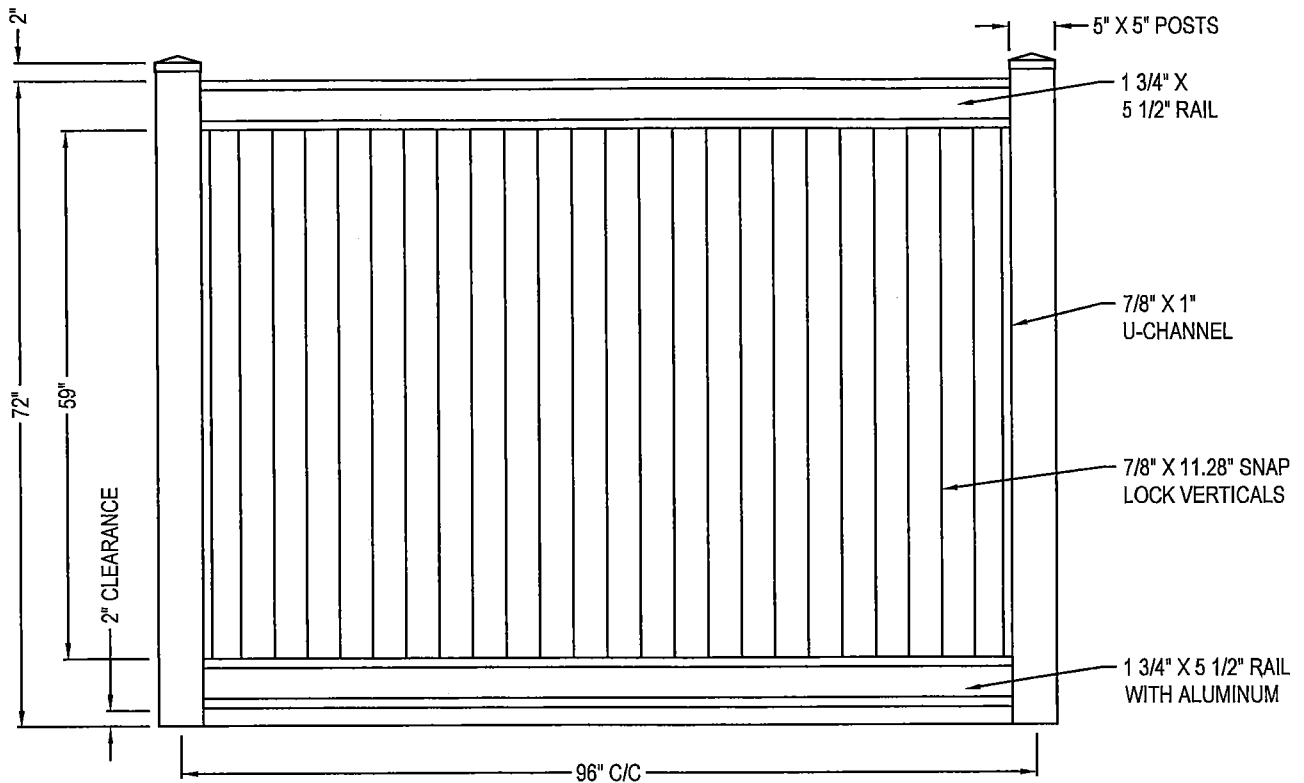
SELECT DESIRED HEIGHT: --

- 48"
- 60"
- 72" (SHOWN)
- 84"**
- 96**

**WITH ALUMINUM REINFORCED  
 MID-RAIL

SELECT DESIRED POST CAPS:

- FLAT (STANDARD)
- GOTHIC
- BALL (OPTIONAL)



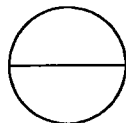
FRONT ELEVATION

**MANUFACTURER NOTES:**

1. PLEASE CONTACT MANUFACTURER FOR ALL THE OTHER SIZES AND OPTIONS.

**NOTES:**

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 1038-044.



**PRIVACY FENCING**

SUPERIOR

Planning Commission Jan 31 2023

Name

Address

- 1) ~~Chuck Olson~~ 308 Grant St Hoboken
- 2) Tony Tomaszuk MATTY CONST ONALASKA
- 3) Ryan Buisman " " "
- 4)
- 5)
- 6)
- 7)
- 8)