

**Village of Holmen  
Planning Commission Minutes  
October 27, 2020**

Village President Barlow called the Planning Commission meeting to order at 6:30PM on Tuesday, October 27, 2020. Present were commission members Barlow, Stanek, Kulcinski, Gill, Kertis, Grokowsky, and Appold; along with advisory members Administrator Heinig and Engineer Dahl. Also in attendance were: Karen Eckert, Pam Johnson, Dax Connely, Jeff Osgood, Chad McCathie, Karen McCathie, Branyt Klos, Mandy Hess, Jason Hess, Kevin Schilling, and Patricia Stovey.

**Public Hearings:**

**Petition from Chad and Karen McCathie for Change of Zoning (Rezoning) from (B-1) Downtown Business District to (PUD) Planned Unit Development for Holmen Plaza Mixed Use Development, and Site Plan and Architectural Review (SPAR) for Holmen Plaza's Phase One Project of 24 Residential Units.**

**Motion by Appold, seconded by Gill** to open the public hearing. Carried 7-0.

Patricia Stovey stated she had questions on the rent cost, lease terms, whether there would be an on-site manager, and the effect on home values.

Karen Eckert stated she had concerns on the effect on home values, the density proposed, parking demands, and the increased traffic in the alley adjacent to her property.

Chad McCathie stated that he was the developer and that underground parking will be provided and that entrances won't be off the alley. He stated that he considers these high-end apartments and will be part of a phased development in the downtown area; phase II will include new business buildings.

Pam Johnson stated she likes the Village's small town feel and feels that this development will have negative effects on the space and traffic in her neighborhood.

**Motion by Kertis, seconded by Stanek** to close the public hearing. Carried 7-0.

**Approval of the September 29, 2020 minutes:**

**Motion by Kulcinski, seconded by Grokowsky** to approve the minutes of the September 29, 2020 Meeting. Carried 7-0.

**Public comment:**

None

## Agenda Items:

### **Possible Action on SPAR (Site Plan & Architectural Review) Petition from Kwik Trip, Inc., for the Construction of a new Kwik Trip Convenience Store at the northeast corner of Schaller Blvd. and Hwy. 35**

Administrator Heinig gave an overview of the proposed Kwik Trip's location and plan submittal. He stated that this will be a full masonry structure comparable to the Kwik Trip store on Hale Drive although this store will be larger and be approximately 12,000 SF. There will be a right in/out entry off Schaller Boulevard to accommodate large trucks, and two additional entrances are provided off Granary Street. He stated that the entrances will need to be modified to conform to the Village sidewalk requirements and avoid an impact to existing storm inlets. He stated that these are minor modifications and could be handled administratively at a later time. There will be a convenience store for autos as well as a truck stop. He stated that the landscape plan was well done and meets all the requirements of the ordinance. He stated that the lighting plan is well done and the proposed signage at the site is well thought out for the size of the buildings and the site. He complimented Kwik Trip's design as taller signs and EVM's are not permitted and their submittal did not include those items. Lastly, he stated he had no other concerns with the submittal and recommends its approval.

Dax Connely stated he was present to represent Kwik Trip. He stated the store is being planned in response to Holmen's continued growth and the store will also service customers from Trempealeau and Galesville. He stated that recreational fuel will also be available under the diesel canopy as a convenience to customers with trailers. He also thanked the commission for their consideration.

Member Barlow asked whether the site plans adequately address drainage. Administrator Heinig stated that the plan properly handles the drainage.

**Motion by Kulcinski, seconded by Grokowsky** to approve the SPAR (Site Plan & Architectural Review) Petition from Kwik Trip, Inc., for the Construction of a new Kwik Trip Convenience Store at the northeast corner of Schaller Blvd. and Hwy. 35.

**Motion by Stanek, seconded by Appold** to amend the motion to recommend approval of the SPAR (Site Plan & Architectural Review) Petition from Kwik Trip, Inc., for the Construction of a new Kwik Trip Convenience Store at the northeast corner of Schaller Blvd. and Hwy. 35; contingent on administrative approval of the modifications to the sidewalks and entrances. Carried 7-0.

**Action on approval of amended motion** Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, site and building lighting, site and building signage, and site landscaping. Carried 7-0.

**Possible Action and Recommendation on Annexation Petition from Steven and Chelsea Carpenter for N7676 County Road XX from the Town of Holland.**

Administrator Heinig outlined the location of the proposed annexation. He stated that it is just over 5 acres. The owner is seeking annexation for the zoning authority to rezone the property for business. He stated that the petition is under review by the state of Wisconsin, but is consistent with the boundary agreement. He recommends the approval of the annexation contingent on the approval from the state of Wisconsin.

**Motion by Kertis, seconded by Kulcinski** to recommend approval of the Annexation Petition from Steven and Chelsea Carpenter for N7676 County Road XX from the Town of Holland. Carried 7-0.

**Possible Action and Recommendation on Petition from owner Jason Hess to merge lots 1 and 2 of King's Bluff Estates via CSM (Certified Survey Map).**

Administrator Heinig stated that the petition would merge lots 1&2 of the Kings Bluff Residential subdivision. He stated that the lots are located on the corner of Old 93 and Red Clover Street and are currently zoned R-6. The R-6 zoning allows for construction of a twindo home with a firewall along the center property line. The R-6 zoning also requires that plat always be in "sets of two." He stated that the Village policy is that any CSM of 2 lots or less would normally be approved by the administration. He stated that he denied the proposal as merging the lots would be inconsistent with the zoning on the ground and he and the Village attorney recommend denying the petition.

Bryant Klos introduced himself as the attorney for Mr. Hess. He stated his client would construct one building on the combined lot. He stated that the CSM ordinance can only create one lot; which it does. Since there are no buildings proposed at this time this is not a zoning issue.

Village Attorney Weber stated the zoning requires lots be developed in sets of 2 since this CSM wouldn't create a pair it wouldn't be zoning compliant.

Bryant Klos stated that he could acquire the 2 adjacent lots and combine them with another CSM to create a pair. That would allow a larger single-family building on a bigger lot.

Attorney Weber stated the combined lot would be inconsistent with zoning. He added the subdivision needs to be compliant to the zoning on the ground.

Member Stanek stated his agreement with Administrator Heinig and Attorney Weber and added that he didn't agree with the direction of the request.

Member Kertis asked for clarification on the request. Administrator Heinig stated the petition is asking to merge 2 lots into one with a CSM. The request is inconsistent with the zoning on the ground in the subdivision and must be denied.

**Motion by Stanek, seconded by Appold** to recommend denial of the Petition from owner Jason Hess to merge lots 1 and 2 of King's Bluff Estates via CSM (Certified Survey Map). Carried 7-0.

**Possible Action and Recommendation on Petition from Chad and Karen McCathie for Change of Zoning (Rezoning) from (B-1) Downtown Business District to (PUD) Planned Unit Development for Holmen Plaza Mixed Use Development, and Site Plan and Architectural Review (SPAR) for Holmen Plaza's Phase One Project of 24 Residential Units**

Administrator Heinig outlined the location of the PUD request. He stated that this will be a planned development in 3 phases; Phase I being the apartments; Phase II being business redevelopment; and Phase III being 4000 SF of retail. Phase I of the development; the apartment building and parking area; is being considered tonight. The apartment will be a 4-story building with 24 units and includes underground parking. He stated the materials included masonry around the bottom of the building with the top of the building being split amongst 2 colors of metal and a woodlook panel creating an urban look with a goal of creating a similar look to the Weber building in La Crosse. The internal layout of the building is designed as upscale apartments. He stated the site plans will convey stormwater into the existing system along Main and Lake Street. The north to south alley along the east edge of the development will be redone with the plan. The development includes variances to reduce the landscaping requirements and also the parking between phase 1 and 3 would be shared, thus not meeting the individual requirements. He felt that the proposed development would be a soft transition between the commercial district and the R-3 residential district to the east. The current B-1 zoning would allow any 24-hour use and the apartments would be a quiet neighbor. He stated that the redevelopment would certainly increase property values along the Main Street corridor. He stated that the SPAR ordinances limit the metal to 25% of the building and that this building is approximately 50-60%. The developer could address this by changing one of the metal colors to a masonry product to be consistent with the ordinance. Lastly, he stated that this is an outstanding building and plan with significant long-term benefits to the area. However, he stated that an approval of this building as submitted would certainly have future precedence concerns for exterior building materials and therefore he could not bless the submittal tonight.

Karen McCathie stated she felt that the architectural metal product they chose to use is a modern design and the building would not look like a pole building. She also stated that the Nichiha woodlook panel is a masonry product and considering that the masonry percentage would be just under 50%. Lastly, she stated that she felt the intent of the ordinance was to eliminate sheet metal pole shed type buildings.

Chad McCathie stated the metal siding is a quality product which creates an industrial looking building and provides a transition from the new modern building to the neighboring old buildings. He added that an LP siding could be used to replace the metal and would be compliant and cheaper, but didn't provide the look they are looking for.

Member Grokowsky asked how the overall elevation of the building compared to the surrounding buildings. Chad McCathie answered that the roofline would be similar since the

ground elevation on the north end of the block is lower and the old 2 story buildings have 16' stories compared to the new building's 10' stories.

Member Stanek stated he felt that before this building could be accepted as submitted the code would need to be modified to properly address the selected metal material. He added that he was not in favor of rewriting the code, as this would be unfair to previous projects reviewed by the commission.

Member Kertis asked if the wood were considered a masonry product, would they be compliant. Administrator Heinig answered that this still wouldn't be compliant. The major part of that non-compliance is the metal materials selected. He explained the ordinance was created and adopted as part of the comprehensive plan to create an overall vision of the community's development, and the community was clear that they didn't want metal buildings. They wanted new buildings in commercial areas to be brick or stone, that is what is required. As other buildings were proposed they were not allowed to use metals unless they were in small percentages. Stated examples of metal used as accents were at the school's new additions and the columns at the Boys and Girls Club redevelopment. When used in the McCathie's proportions, the metal it is problematic and must be consistent with previous approvals given.

Member Stanek stated that traffic concerns are common with other developments, but those concerns never materialized as people's schedules naturally distribute the traffic flow. He also confirmed that the alley would be redone with the project and the lease terms would provide the desired high-end market.

Member Barlow asked about alley impacts. Administrator Heinig stated that the impacts to the alley may not be ideal, but felt that this provided a lessor impact than other acceptable B-1 zoning uses. He added that the Phase I parking requirements have been met, but Phase III won't have the same stand-alone compliance. The differing uses will offer some open parking during as tenants would be gone during business hours.

**Motion by Kulcinski, seconded by Stanek** to recommend conditional approval of the Petition from Chad and Karen McCathie for Change of Zoning (Rezoning) from (B-1) Downtown Business District to (PUD) Planned Unit Development for Holmen Plaza Mixed Use Development, and Site Plan and Architectural Review (SPAR) for Holmen Plaza's Phase One Project of 24 Residential Units; contingent on administrative approval of the modified material types to be within the comprehensive plan requirements. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials (with the exception of the current proposed metal), overall building layout and design, site and building lighting, site and building signage, and site landscaping. Carried 7-0.

#### **Updates and other informational items from and before the Planning Commission:**

No updates given.

**Adjourn:**

**Motion by Grokowsky, seconded by Kulcinski** to adjourn at 7:53 pm. Carried 7-0.

Minutes prepared by Chris Dahl, Village Engineer



## Store Engineering

FAX 608-793-6237

1626 Oak St., P.O. Box 2107  
La Crosse, WI 54602

[www.kwiktrip.com](http://www.kwiktrip.com)

Village of Holmen  
Scott Heinig  
421 S. Main St  
Holmen, WI 54636

September 28th, 2020

### Site Plan Review & Engineering Review Submittals

Mr. Heinig,

This letter is intended to accompany our submittal for our application to the Village of Holmen for the requested ARB Review/CUP Application for our proposed project located at the NE corner of STH 35 and Schaller Blvd.

Kwik Trip, Inc. is proposing the construction of a 11,120 S.F. convenience store w/ attached 1-Bay Carwash and an attached dumpster enclosure w/ separate Fueling Canopies. I have submitted the required hard copies per our discussion of 12 – 11x17 Color Copies. I confirmed there was no application and fee.

The proposed method of operation for this development will be consistent with that for our existing convenience stores within the area. The requested hours of operation will be 24 hours for all uses. The type of products that will be sold will be like that of our existing stores: gasoline, in line diesel, E-85, groceries, bakery and dairy, hot and cold food and beverages, tobacco products, off-sale alcohol products, lotto, convenience store merchandise, ice, and propane. We will also be applying for an off-sale alcohol license for this store. The outside merchandising of products is being requested next to the store (ice and propane) and softener salt under the gas canopy. The proposed store is projected to have between 28-35 full and part time employees, with 2-8 on staff at any given time.

The proposed architectural plan will consist of a brick facade with standing seam metal roof. The building and canopy fascia will tie in with franchise colors. The prototype building is larger than previous years building. We have expanded the retail floor area as well as kitchen and mechanical space all on the main level with no basement. The total estimated project costs are \$2,000,000.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns you may have with our submission. Please feel free to call me with any questions.

Sincerely,

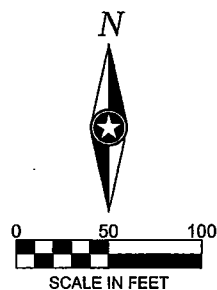
**Jeff Osgood – Sr. Development Manager - Store Engineering - Kwik Trip, Inc.**

608-793-5547 - [josgood@kwiktrip.com](mailto:josgood@kwiktrip.com) 1626 Oak St | P.O. Box 2107 | La Crosse, WI 54602

### OUR MISSION

*To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.*





**LEGEND**

- ASPHALT SURFACE
- CONCRETE SURFACE
- SET 1-1/4" DIA. x 24" LONG IRON ROD 8.34 LBS/LINEAL FOOT, UNLESS OTHERWISE NOTED
- EXISTING CONTOUR
- UTILITY BOX
- TRANSFORMER
- SIGN
- TOP HUT OF HYDRANT
- WATER GATE VALVE
- SANITARY SEWER LINE
- STORM SEWER LINE
- UNDERGROUND WATERMAIN LINE
- UNDERGROUND CABLE TELEVISION LINE
- UNDERGROUND ELECTRIC LINE

**DESCRIPTION REFERENCED FROM SCHEDULE A:**  
(Per Commitment No. RV30561908)

Lot 9, of Bluffview Business Park Phase Two, Village of Holmen, La Crosse County, Wisconsin.

(Surveyor's Note: Plat of Bluffview Business Park Phase Two, has not been recorded at the time of this survey.)

**NOTES:**

1. The client has provided a commitment for title insurance issued by First American Title Insurance Company, having an effective date of February 27, 2020 at 8:00 AM, bearing Commitment No. RV30561908, which is the basis of this survey.
2. Fee ownership at time of survey is vested in Mally Construction Company, per Commitment No. RV30561908.
3. Bearings shown hereon are based upon the west line of proposed Lot 9. Said line bears North 00 degrees 31 minutes 08 seconds West.
4. Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed property.
5. The surveyed property appears to have access to Temie Street, upon dedication of the Plat of Bluffview Business Park Phase Two.
6. First American Title Insurance Company, Commitment No. RV30561908, Schedule B-2 Exceptions (survey related):

Item #9: Covenants, conditions, restrictions and easements, if any, as set forth in Executor's Deed dated September 24, 1953 and recorded on September 24, 1953 in Volume 247 of Deeds, Page 347. Items listed in said deed are covered by other items listed.

Item #10: Lands taken for highway purposes contained in a Warranty Deed from Henry L. Hanson to La Crosse County, dated April 19, 1950 and recorded on May 9, 1950 in Volume 230 of Deeds, Page 417. Said description does not affect subject property. Land described is located in the section east of subject property.

Item #11: Lands taken for highway purposes contained in a Warranty Deed from Henry L. Hanson to La Crosse County, dated October 11, 1950 and recorded on October 11, 1950 in Volume 233 of Deeds, Page 205. Said description does not affect subject property. Land described is located in the section east of subject property.

Item #12: Terms and provisions of Award of Damages for Development Restriction Right for Scenic Easement from State Highway Commission to Henry L. Hanson recorded May 12, 1952 in Volume 238 of Deeds, Page 380. Shown hereon.

Item #13: Covenants, conditions, restriction, easements, terms and provisions if any, as set forth in Easement Deed from Henry L. Hanson to Mississippi Valley Public Service Co. dated November 23, 1929 and recorded on December 18, 1929 in Volume 163 of Deeds, page 62. Does not affect subject property.

Item #14: Covenants, conditions, restrictions, easements, terms and provisions if any, as set forth in Easement Deed from Henry L. Hanson to Wisconsin Telephone Co dated May 11, 1950 and recorded on June 22, 1950 in Volume 230 of Deeds, Page 536. The above described easement was assigned by an Assignment and Assumption of Recorded Easements, Licenses and Right of Way Agreements dated September 29, 2000 and recorded October 18, 2005 as Document Number 1434624. Description in Vol. 230, Pg. 536 is blanket in nature and is not shown hereon. The description in Doc. No. 1434624 is said to be in "Exhibit A", however, exhibit A was not provided to the surveyor and is not shown hereon.

Item #15: Terms and provisions of Award of Damages for Highway Easement from County Highway Committee to Henry L. Hanson dated April 18, 1952 and recorded on April 22, 1952 in Volume 238 of Deeds, Page 331 as Document Number 574003. Shown hereon.

Item #16: Covenants, conditions, restrictions, easements, terms and provisions if any, as set forth in Quit Claim Deed dated October 19, 1993 and recorded on March 7, 1994 in Volume 1115, Page 64 as Document Number 1112033. Shown hereon.

Item #17: Terms and provisions of Joint Driveway Easement Agreement dated September 1, 2006 and recorded on September 6, 2006 as Document Number 1457864. Easement is not plottable.

Item #18: Terms and provisions as set forth in Certificate of Annexation adopted October 9, 2008 and recorded October 15, 2008 as Document Number 1511283. Said document covers the entire subject property.

Item #19: Covenants, conditions, restrictions, easements, terms and provisions if any, as set forth in Warranty Deed dated December 2, 2015 and recorded on December 2, 2015 as Document Number 1667132. Said document is the description for what is now known as Schaller Boulevard. Shown hereon.

Item #20: Covenants, conditions, easements, setbacks and restrictions, if any, as delineated on the Plat of Bluffview Business Park Phase Two, not yet recorded. Shown hereon.

7. There were no observed possible encroachments on the surveyed property.
8. There was no observed evidence of a cemetery or burial ground within the surveyed property.
9. The word 'certify' or 'certificate' is an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, express or implied.
10. Deeds for adjoiners to the surveyed property were not provided with title documentation and therefore not reviewed as part of this survey.
11. Improvements shown on Temie Street are proposed and do not currently exist.

**OPTIONAL TABLE A ITEMS:**

1. Monuments to be set as part of this survey are shown hereon.
2. Address of the surveyed property if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is:  
0 State Road 35, Holmen, WI 54636
3. The flood zone classification/limits depicted hereon, if any, are subject to map scale uncertainty. The surveyed property shown on this survey map is in Flood Zone "Other Areas", according to Flood Insurance Rate Map Community Panel No. 55063C0135D, published by the Federal Emergency Management Agency, effective date January 6, 2012.
4. Gross land area is shown hereon.  
**AREA TABLE**  
Total Area - 304,938 sq. ft.

5. Vertical relief with the source of information (ground survey or aerial map), contour interval, datum, and originating benchmark identified.  
Vertical datum is based on NAVD83(2011).  
Benchmark is the top nut of the fire hydrant located on the west side of Lot 9, at the south end of the curb median. Elevation = 711.73 feet.

6a. If set forth in a zoning report or letter provided to the surveyor by the client, list the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements. Identify the date and source of the report or letter.

B-2 (General Business District) (Per Village of Holmen)

**Setbacks**  
**Building**      **Accessory Building**  
Front = 25 feet      Rear = 3 feet  
Rear = 15 feet      Side = 3 feet  
Side = 10 feet

**Height Requirements**  
Maximum Height = 45 feet  
Accessory building = 25 feet

6b. If the zoning setback requirements are set forth in a zoning report or letter provided to the surveyor by the client, and if those requirements do not require an interpretation by the surveyor, graphically depict the building setback requirements. Identify the date and source of the report or letter. Zoning Information per Village of Holmen Chapter 195 Zoning and a copy of Board Minutes from the Board Proceedings on February 13, 2020.

7a. There are no buildings on site.

8. Substantial features observed in the process of conducting fieldwork (in addition to the improvements and features required pursuant to Section 5 in the 2016 ALTA/NSPS Standards) are shown hereon.

9. Number and type (e.g., disabled, motorcycle, regular and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots, and in parking structures. Striping of clearly identifiable parking spaces on surface parking areas and lots. The number of parking stalls observed on the surveyed property are as follows:  
There are no parking spaces on site.

11. Location of utilities existing on or serving the surveyed property as determined by observed evidence together with evidence from plans obtained from utility companies or provided by client, and markings by utility companies and other appropriate sources. Location of all utilities shown and plotted are approximate, based on Diggers Hotline on November 15, 2018, Ticket Number 20184506662. Location of all utilities shown and plotted are based on visible surface identification, and/or drawings provided by utility companies contacted by the Diggers Hotline. Utility lines in street right-of-way are not necessarily complete. Private utility lines, may not be located per the Diggers Hotline, available record drawings were used in preparing the location of these lines. Excavations were not made during the process of this survey to locate underground utilities and/or structures. Additional underground utilities and/or structures may be encountered. Contact Diggers Hotline for verification of utility type and field location, prior to excavation. Per Diggers Hotline Ticket Number 20184506662, the following utilities were notified:

**Name**  
Charter Communications, Riverland Energy Cooperative, Village of Holmen, Midwest Natural Gas Inc, Century Link, Dairyland Power Cooperative

14. As specified by the client, distance to the nearest intersecting street. Intersections and dimensions are shown on this survey.

17. Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

18. If there has been a field delineation of wetlands conducted by a qualified specialist hired by the client, the surveyor shall locate any delineation markers observed in the process of conducting the fieldwork and show them on the face of the plat or map. If no markers were observed, the surveyor shall so state.

19. Include any plottable offsite (i.e., appurtenant) easements or servitudes disclosed in documents provided to or obtained by the surveyor as a part of the survey pursuant to Sections 5 and 6.

21. Sanitary inverts, storm sewer inverts, adjacent structures, sanitary-storm-water pipe sizes, street widths, street medians, adjacent and cross driveways.

22. Set four control points and note horizontal and vertical coordinates.

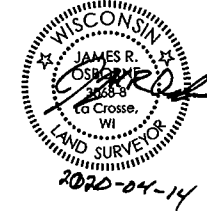
**CERTIFICATION OF SURVEYOR:**

To: Kwik Trip, Inc., a Wisconsin Corporation; River Valley Title Group, LLC; First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 11, 14, 17, 18, 19, 21 and 22 of Table A thereof. The fieldwork was completed on April 10, 2020.

Date: April 14, 2020

Signed:   
James R. Osborne, Licensed Land Surveyor  
Wisconsin License No. 3068-8  
ISG  
201 Main Street, Suite 1020  
La Crosse, WI 54601  
(608)-789-2034  
www.isginc.com  
jm.osborne@isginc.com



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

**KWIK TRIP, INC.**

**STORE #1114**

VILLAGE OF HOLMEN WISCONSIN

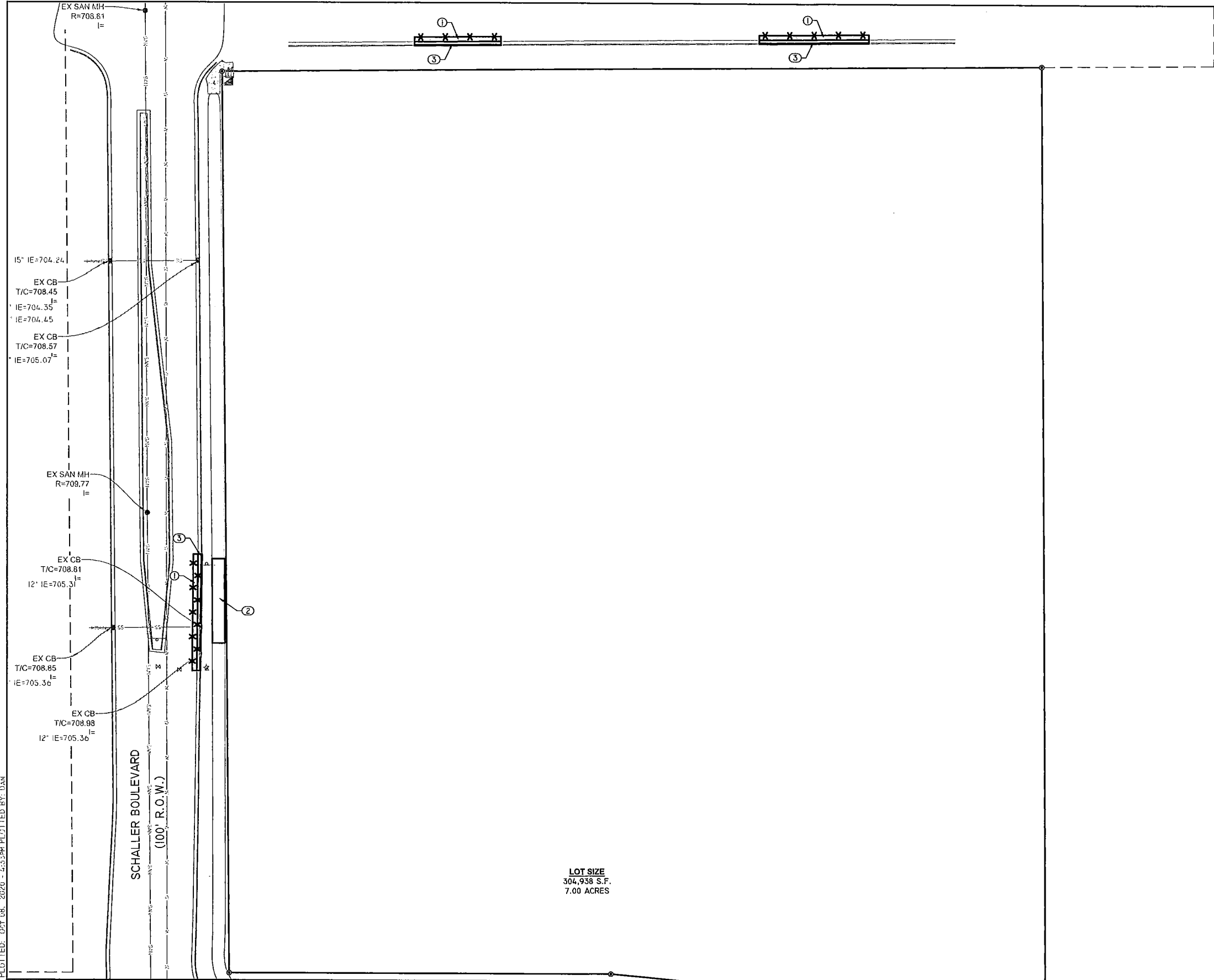
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	20-24009
FILE NAME	24009 ALTA
DRAWN BY	JRO
DESIGNED BY	
REVIEWED BY	
ORIGINAL ISSUE DATE	-/-
CLIENT PROJECT NO.	

TITLE  
**ALTA/NSPS  
LAND TITLE  
SURVEY**

SHEET  
**1** OF 1

DRAWING FILE: P:\1305-9388\Kwik Trip III - Holmen\dwg\1305-SPO-DEMO.DWG LAYOUT: SPO  
 PLOTTED: OCT 06, 2020 - 4:33PM PLOTTED BY: DAN



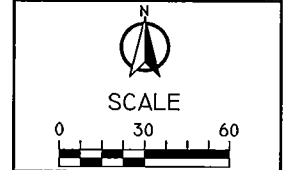
- KEYED NOTES**
1. SAWCUT AND REMOVE ASPHALT.
  2. REMOVE ASPHALT SIDEWALK.
  3. REMOVE CURB AND GUTTER.

**LOT SIZE**  
 304,938 S.F.  
 7.00 ACRES



**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1826 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, Inc.  
 4380 N. 20TH AVENUE  
 WAUKESHA, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

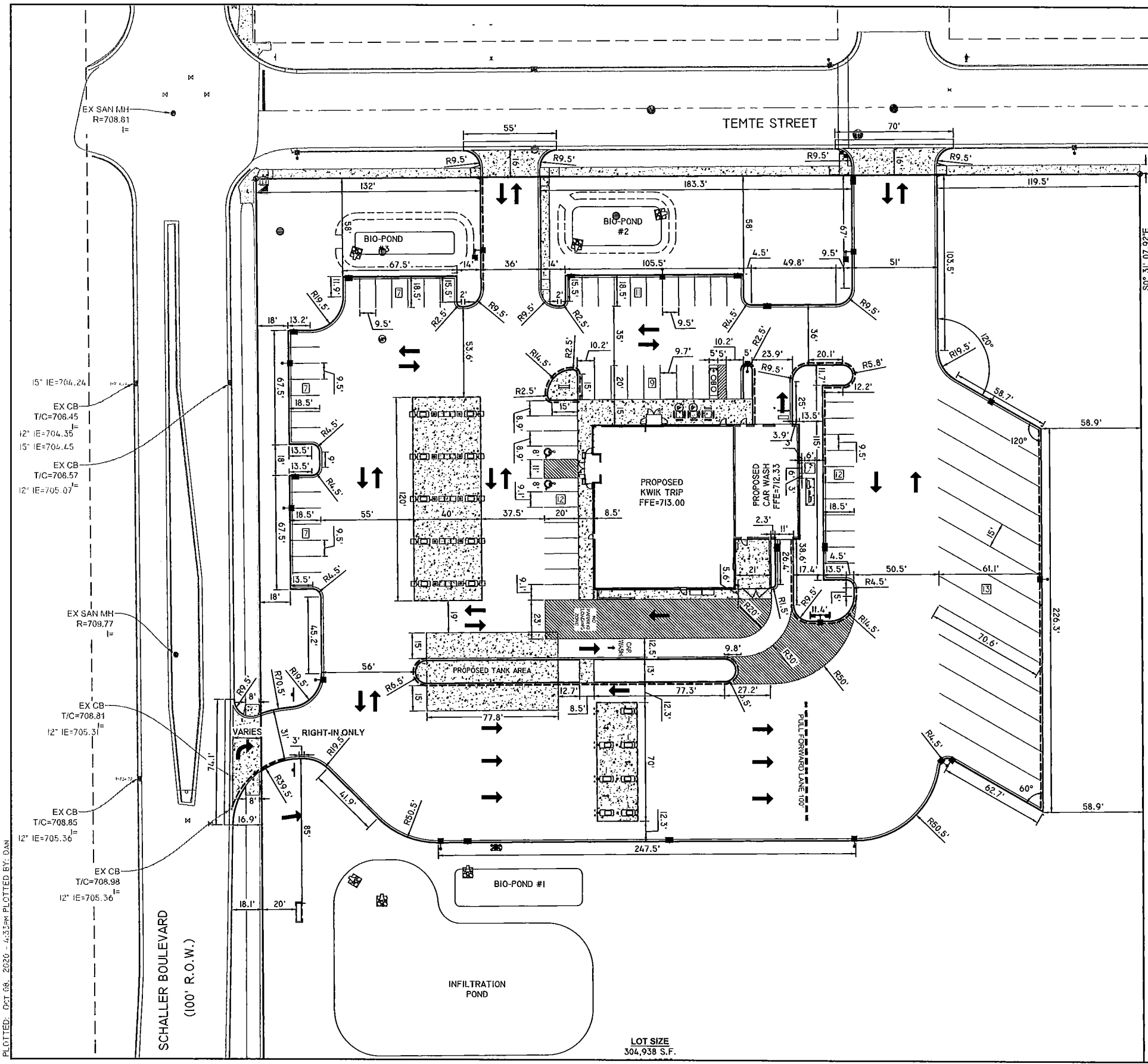


**DEMO PLAN**  
 CONVENIENCE STORE #1114  
 STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION
△		

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: **SP0**

DRAWING FILE: P:\9300-9300\9300\9300 - Kwik Trip III - HOLMEN\DWG\LAND\MS\9300-SPI-SITE.DWG LAYOUT: SPI  
 PLOTTED: DTI 08. 2020 - 4:32PM PLOTTED BY: DAN



- LAYOUT NOTES:**
1. PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY: ISG, INC. 608-789-2034
  2. CURBS ARE DIMENSIONED TO BACK OF CURB.
  3. CONVENIENCE STORE, AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHEASTERN MOST PROPERTY CORNER AND ALIGNED PARALLEL/PERPENDICULAR TO THE LINE LABELED S0°31'07.92"E, UNLESS OTHERWISE INDICATED ON THIS PLAN.
  4. UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES. CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 15' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24" O.C.
  5. CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
  6. EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER: APR 15- OCT 31 USE: TK-26UV NOV 1- DEC 31 USE: TK-290
  7. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SLT.

↑↑ - FOR INFORMATIONAL PURPOSES ONLY

**SITE DATA:**

ZONING DISTRICT: B-2 (GENERAL BUSINESS DISTRICT)

TOTAL SITE AREA - EXISTING/PROPOSED: 304,938 SF

EX. IMPERVIOUS: 0 SF  
 EX. PAVEMENT: 304,938 SF

PARKING REQUIREMENTS: SERVICE STATION = 1 STALL PER 2 EMPLOYEES + 1 65 VEHICLE STALLS 15 SEMI TRAILER STALLS

PARKING PROVIDED: 65 VEHICLE STALLS 15 SEMI TRAILER STALLS

BUILDING HEIGHTS: 20.0'  
 CONVENIENCE STORE: 19.5'  
 CANOPY: 19.5'

BUILDING SETBACKS: 25' FRONT 15' REAR 10' SIDE

PROPOSED LOT GREEN AREA: 168,085 SF 55%  
 PROPOSED HARD COVER: 136,853 SF 45%  
 PAVED AREA: 125,876 SF 41%  
 BUILDING ROOF AREA: 12,686 SF 4.2%  
 WATER FEATURE AREA: 10,400 SF 3.4%  
 CONVENIENCE STORE: 10,977 SF  
 (FLOOR AREA) = 5,195 SF

**UTILITY PROVIDERS**

ELECTRIC: RIVERLAND ENERGY COOPERATIVE

GAS: MIDWEST NATURAL GAS, INC.

TELEPHONE: CENTURYTEL CENTRAL

SANITARY/ WATER: VILLAGE OF HOLMEN 608-526-4336

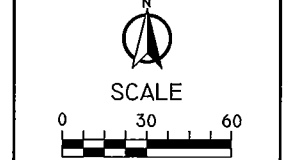
**KWIK TRIP STORES**

**KWIK STAR STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING**

REI Engineering, INC.  
 4300 N. 20th AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.6060  
 EMAIL: MAIL@REIENGINEERING.COM



**SITE PLAN**

CONVENIENCE STORE #1114

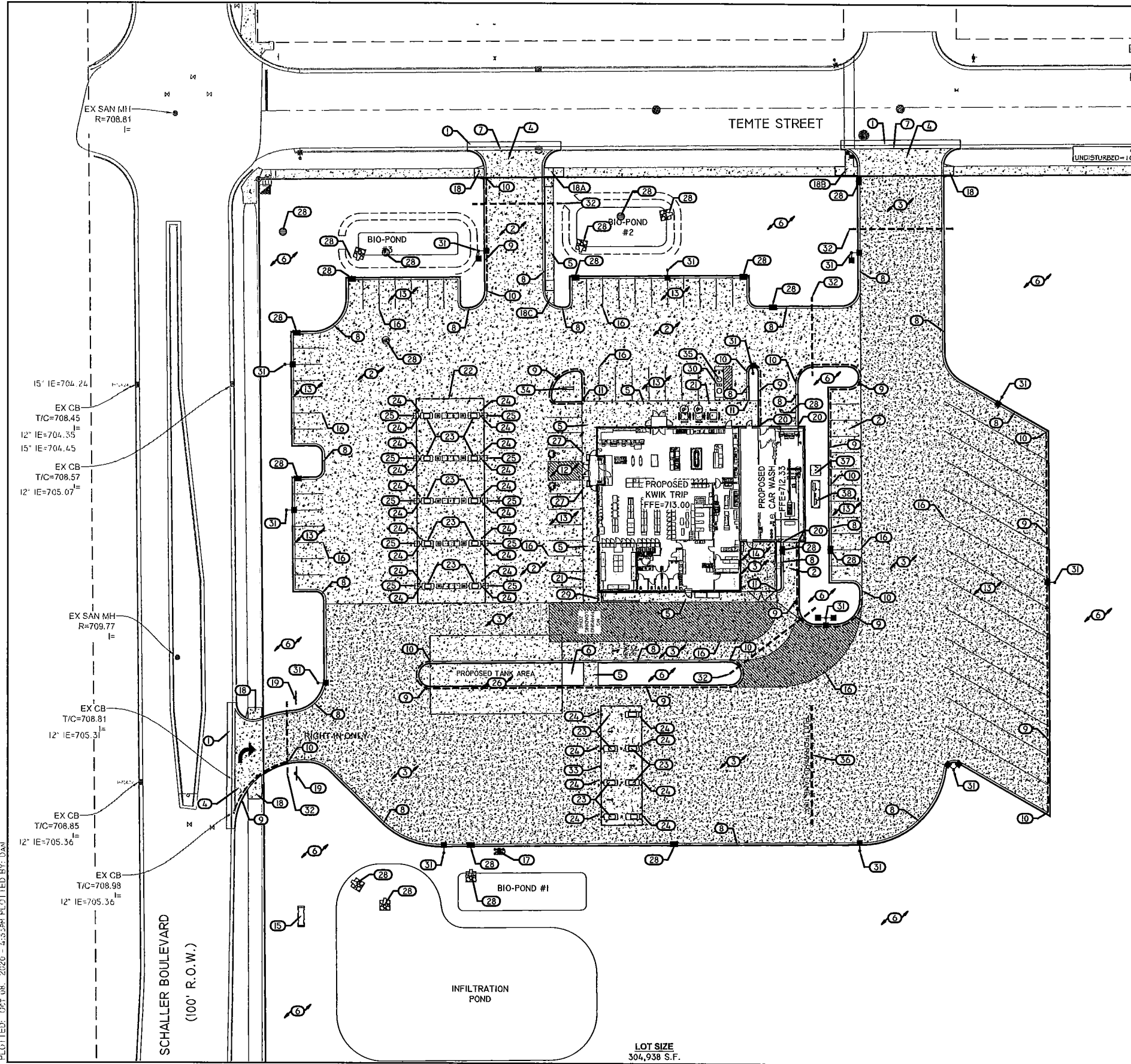
5TH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP1

LOT SIZE  
 304,938 S.F.

DRAWING FILE: P:\2020-09-09\09388-Kwik Trip III4 - HOLMEN\DWG\PLAN\SP1-SITE DWG LAYOUT: SP1  
 PLOTTED: 08/14/20 2:26:43 PM PLOTTED BY: DAN



**KEYED NOTES**

1. ASPHALT PAVEMENT. SEE DETAIL 1/SP5.
2. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. CONCRETE SEALER: TK-26UV. SEE DETAIL 6/SP5.
3. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 4' O.C. CONCRETE SEALER: TK-26UV. SEE DETAIL 6/SP5.
4. 8" DEPTH CONCRETE APPROACH SIMILAR TO DETAIL 7/SP5.
5. 6" CONCRETE WALK. SEE DETAIL 2/SP5. CONCRETE SEALER: TK-26UV.
6. LANDSCAPE AREA. SEE SHEET LI.
7. 30" DRIVEWAY CURB AND GUTTER.
8. 18" CURB AND GUTTER. SEE DETAIL 9/SP5.
9. 18" REJECT CURB AND GUTTER. SEE DETAIL 9/SP5.
10. TRANSITION CURB & GUTTER. SEE DETAIL 4/SP5.
11. STANDARD CURB & GUTTER TERMINATION. SEE DETAIL 5/SP5.
12. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS. SEE SHEET SP2.3.
13. OFF-STREET PARKING STALLS STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT. SPACES PROVIDED:  
 (3) 8.9' x 20.0' (MIN.) GENERAL PARKING  
 (7) 9.1' x 20.0' (MIN.) GENERAL PARKING  
 (44) 9.5' x 20.0' (MIN.) GENERAL PARKING  
 (9) 9.7' x 20.0' (MIN.) GENERAL PARKING  
 (13) 15.0' x 70.6' (MIN.) GENERAL PARKING  
 (2) 8.0' x 20.0' ACCESSIBLE PARKING WITH  
 (1) 11.0' x 20.0' LOADING ZONE  
 (1) 23.0' x 133.9' LOADING ZONE
14. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
15. KWIK TRIP TRADEMARK SIGN SUBJECT TO SEPARATE REVIEW AND APPROVAL (VERIFY FINAL LOCATION WITH SIGN PERMIT)
16. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- YELLOW, ALL OTHERS- YELLOW.
17. GAS TANK VENT AREA.
18. SIDEWALK RAMP (12:1 SLOPE MAX). SEE DETAIL 12/SP5.
- 18A. SIDEWALK RAMP (12:1 SLOPE MAX). SEE DETAIL 12.1/SP5.
- 18B. SIDEWALK RAMP (12:1 SLOPE MAX). SEE DETAIL 12.2/SP5.
- 18C. SIDEWALK RAMP (12:1 SLOPE MAX). SEE DETAIL 12.3/SP5.
19. PROPOSED "DO NOT ENTER" SIGN.
20. TAPER CURB FROM FLUSH TO FULL HEIGHT WITHIN 6 FEET LENGTH.
21. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD. SEE DETAIL 10/SP5.
22. 40'-0" x 120'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
23. CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER, 3'-6" x 6'-0".
24. 36" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD SIMILAR TO DETAIL 10/SP5.
25. OUTDOOR MERCHANDISING AREA.
26. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS. SEE DETAIL 1/SP6.
27. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT. SEE SHEET SP2.3.
28. STORM STRUCTURE. SEE SHEET SP3 FOR FURTHER STORM SEWER INFORMATION.
29. LP CAGE.
30. 'FREE AIR' COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
31. SITE AREA LIGHT WITH CONCRETE BASE. SEE DETAIL 11/SP5.
32. PVC IRRIGATION SLEEVE UNDER PAVEMENT. VERIFY W/ IRRIGATION PLAN FOR EXACT SIZE AND LOCATION BEFORE INSTALLATION. SEE DETAIL 3/SP5.
33. 24'-0" x 70'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
34. BIKE RACK.
35. VACUUM. SEE DETAIL 13/SP5.
36. 18" EPOXY STOP BAR (YELLOW).
37. TRANSFORMER PAD.
38. DISCONNECT PAD.

**STORES**

**STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING**  
 REI Engineering, Inc.  
 2650 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

SCALE  
 0 30 60

SITE PLAN (KEYNOTES)

CONVENIENCE STORE #1114

STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP

SCALE: GRAPHIC

PROJ. NO.: 9388

DATE: 08/14/20 - BID DOCUMENTS

SHEET

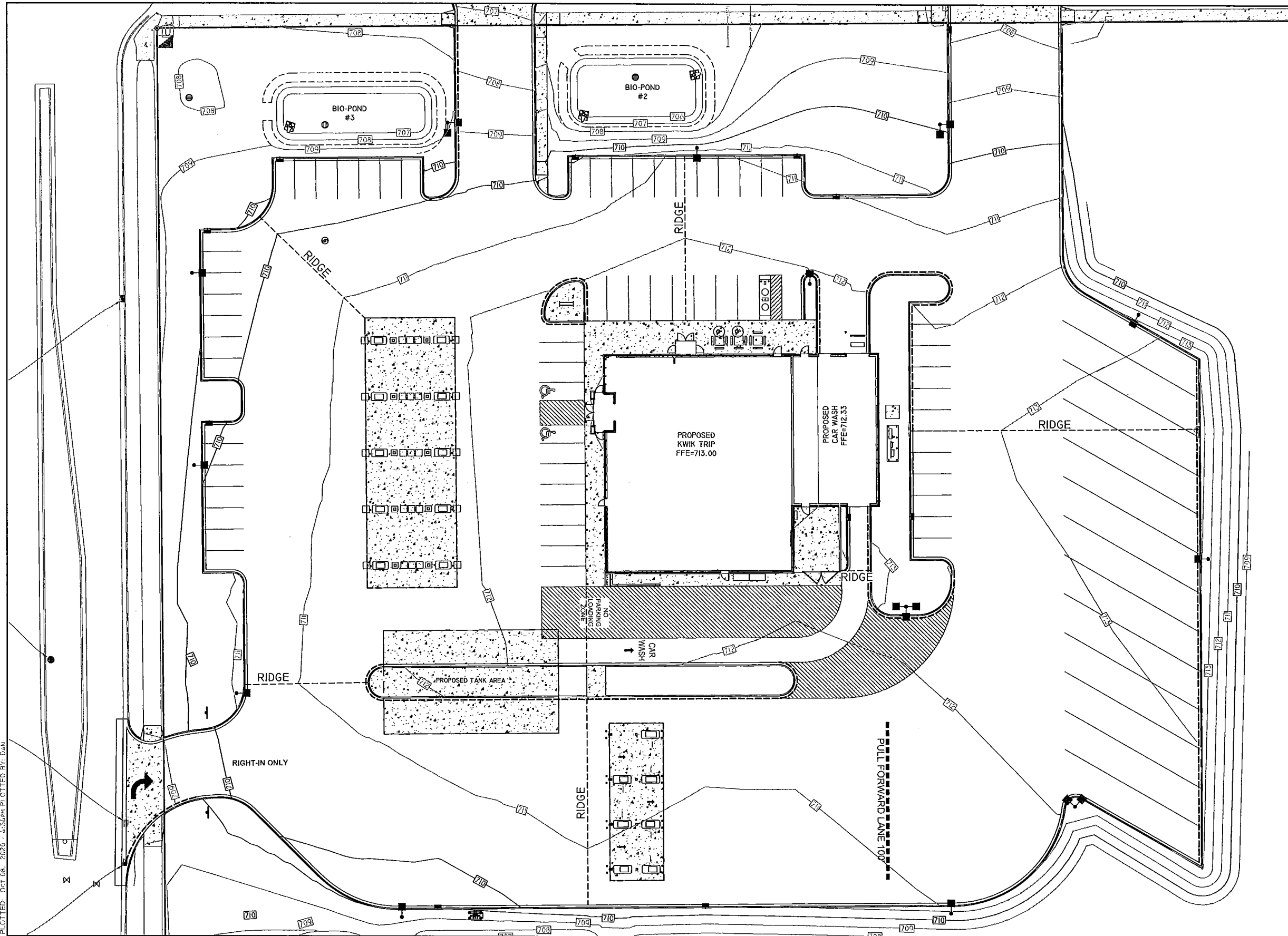
**SP1.1**

LOT SIZE  
304,938 S.F.





DRAWING FILE: P:\9300-9388\9388 Kwik Trip III - HOLMEN\DWG\LANS\9388-SP2.D-GRADING.DWG LAYOUT: SP2.2.1  
 PLOTTED: Oct 08, 2020 - 4:53PM PLOTTED BY: DAN



**KWIK TRIP**

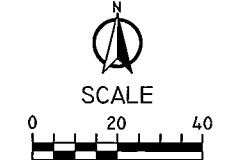
STORES

**KWIK STAR**

STORES

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 1400 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

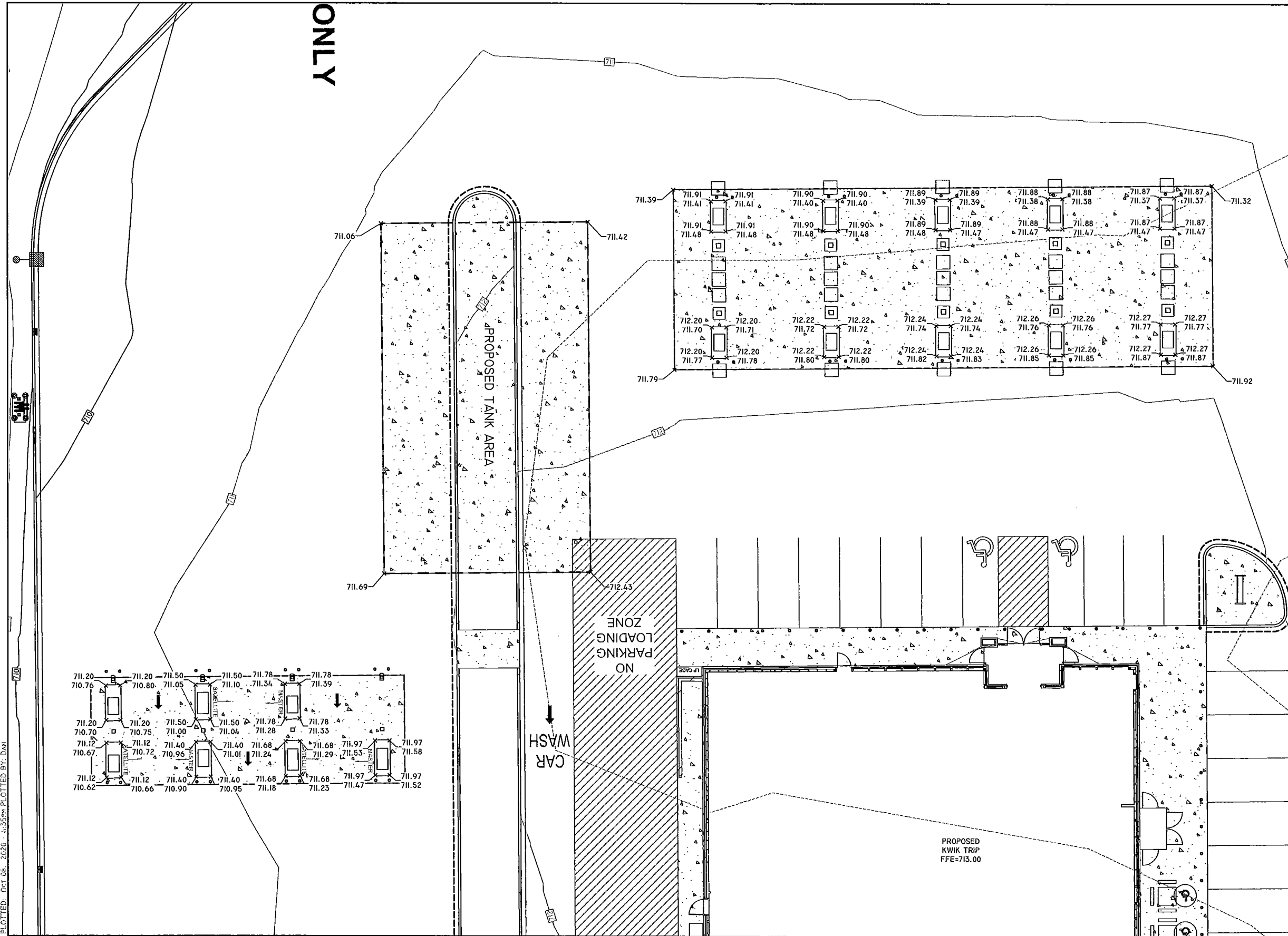


GRADING PLAN  
 SPOT DETAIL  
 CONVENIENCE STORE #1114  
 STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP2.2.1

DRAWING FILE: P:\9306-9359\9358 Kwik Trip III - HOLMEN.dwg [LANS19358-SF2.D-GRADING.DWG LAYOUT: SF2.2.2  
 PLOTTED: OCT 08, 2020 - 4:35PM PLOTTED BY: DAN



ONLY

**KWIK TRIP STORES**

**KWIK STAR STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, Inc.  
 4050 N. 20TH AVENUE  
 WAUKESHA WISCONSIN 54901  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

SCALE  
 0 10 20

CANOPY AND TANK  
 GRADING DETAILS

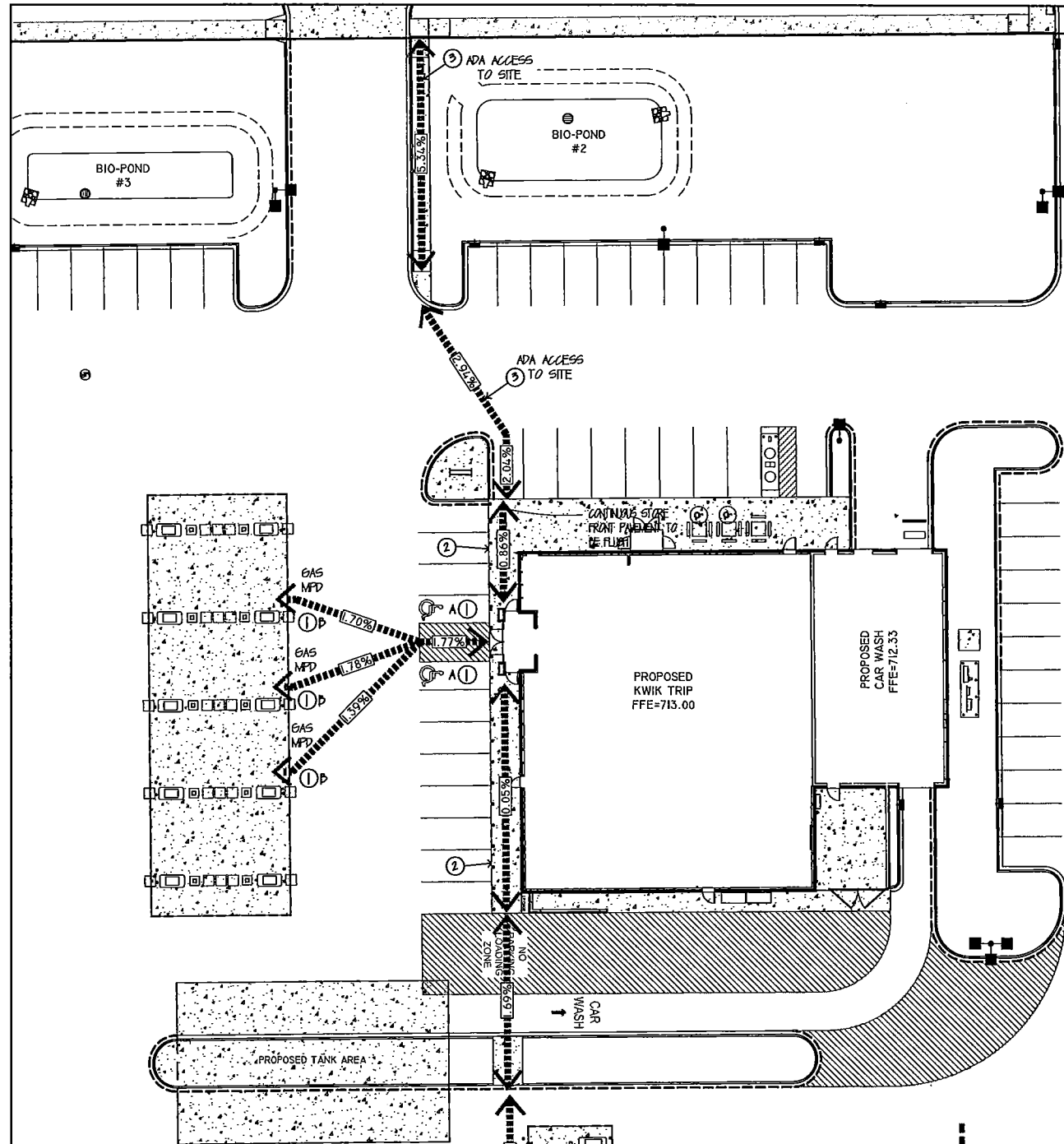
CONVENIENCE STORE #1114

STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY	NAP
SCALE	GRAPHIC
PROJ. NO.	9388
DATE	08/14/20 - BID DOCUMENTS
SHEET	SP2.2.2

DRAWING FILE: P:\9306-9399\9388 Kwik Trip III - HOLMEN.dwg [LANS\9388-SF2.3-ACCESSIBLE.DWG] LAYOUT: SF2.3  
 PLOTTED: DTB 08/20/2020 4:53PM PLOTTED BY: DAN



**PLAN KEYNOTES**

- ACCESSIBLE STALLS
  - STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT. SPACES PROVIDED
  - 8'-0" X 20'-0" ACCESSIBLE PARKING WITH (1) 11'-0" X 20'-0" LOADING ZONE
- ACCESSIBLE FUELING POINT AND DISPENSER AND VALET. VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL. SEE NOTES FOR CONVENIENCE STORE ACCESSIBILITY.
- PAVEMENTS FLUSH FOR ACCESSIBILITY.
- ACCESSIBLE ROUTE TO STORE.



**NOTES FOR CONVENIENCE STORE ACCESSIBILITY**  
 AT LEAST 1 MPD (MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30'X48' CLEAR LEVEL FLOOR AREA (CLF).

ALL PUMP CONTROLS SHALL BE < 48" (2010 STANDARD). WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENCY FUEL STOPS, ETC. BE ACCESSIBLE 30'X48' CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

PROVIDE ISA (INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

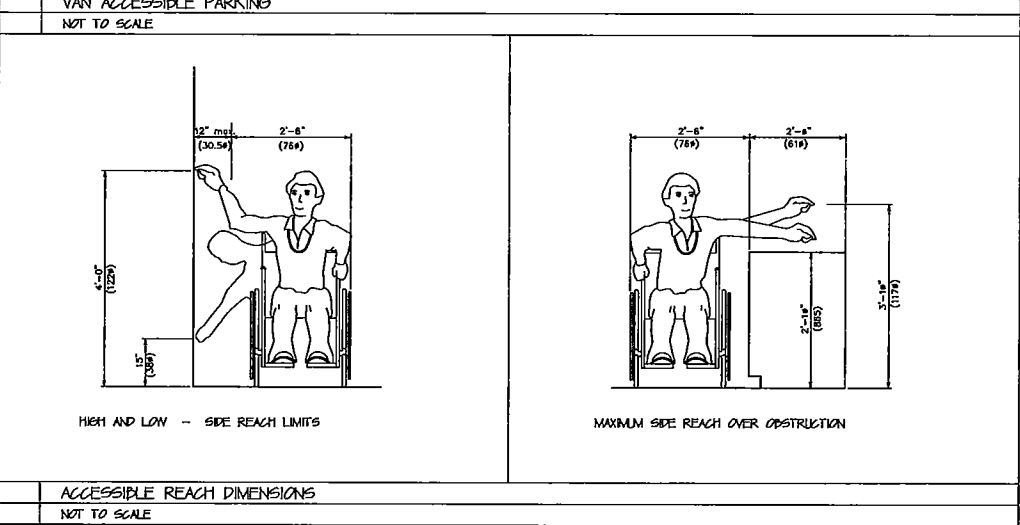
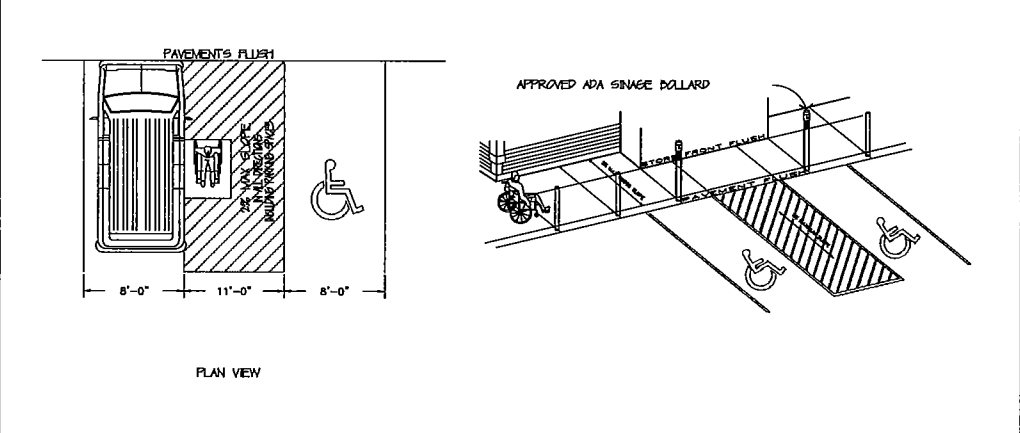
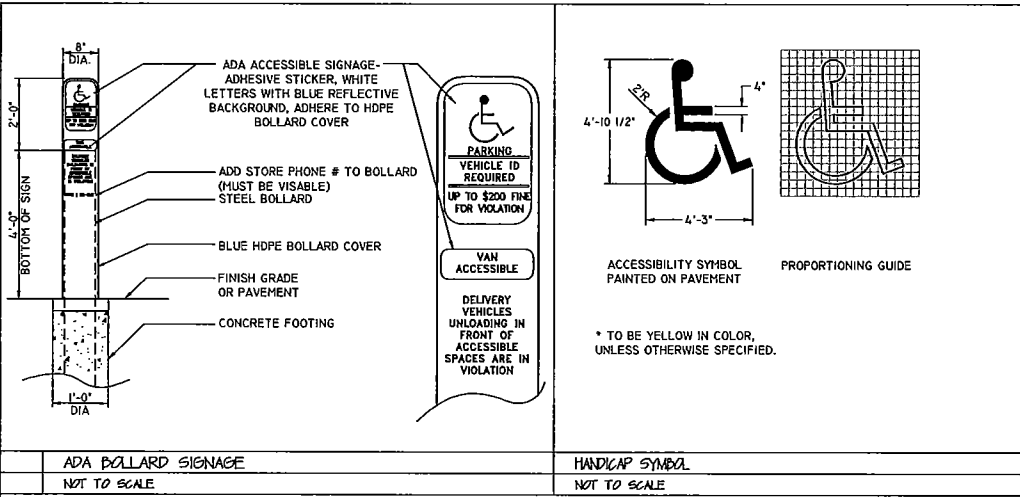
PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

ANY PAY FUNCTION- I.E. AIR/VACUUM ETC. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE. CONTROLS SHALL BE ACCESSIBLE 30'X48' CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

**NOTES:**

- REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.
- KWIK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"
- STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.
- NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.
- PER A.D.A. GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".
- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.
- IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 'VAN ACCESSIBLE' IN EVERY 8 ACCESSIBLE SPACES ON SITE.



# KWIK TRIP

## STORES

# KWIK STAR

## STORES

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1826 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 4050 N. 20TH AVENUE  
 WAUSAU WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

SCALE

ACCESSIBLE PLAN

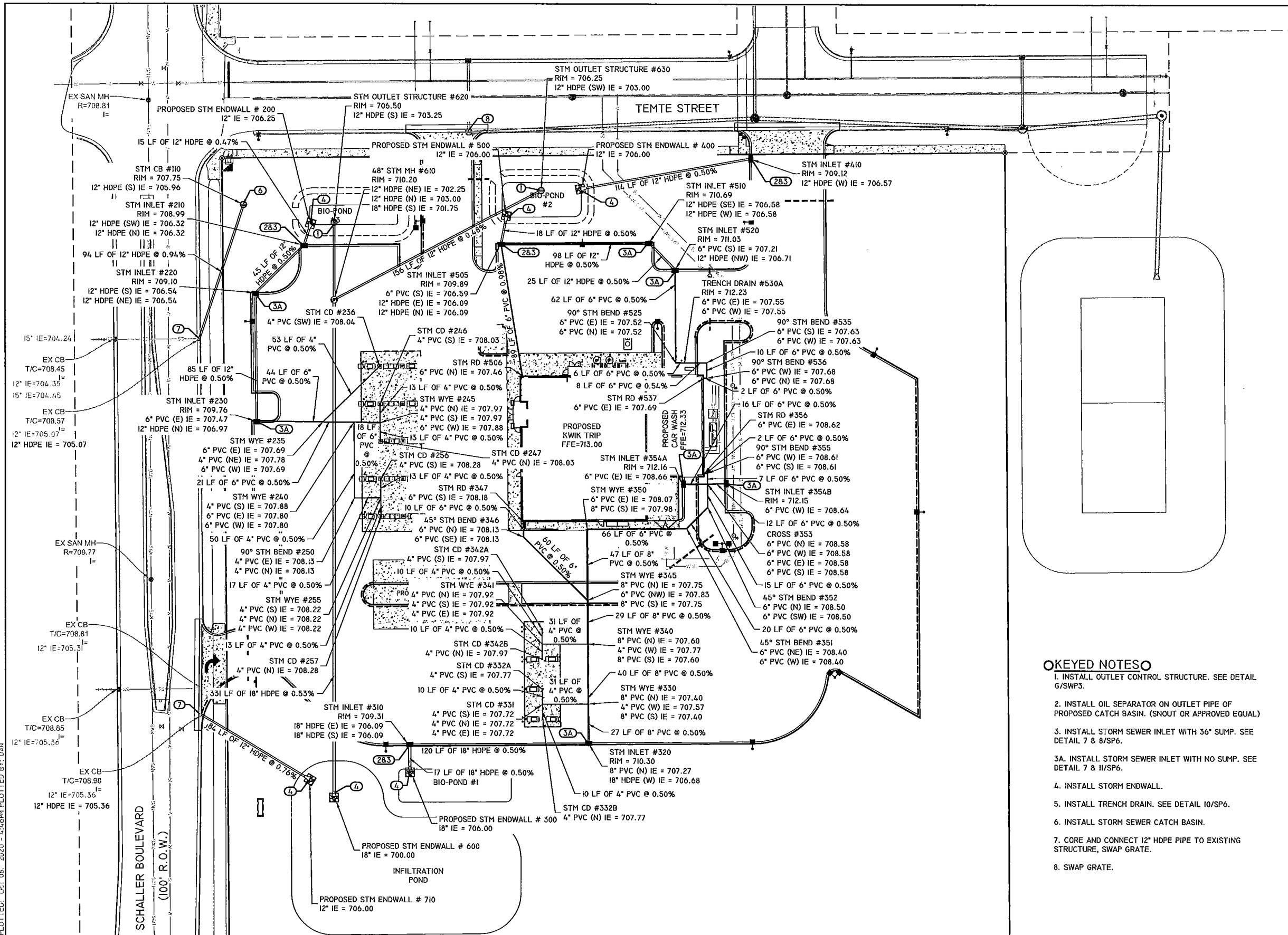
CONVENIENCE STORE #1114

STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: **SP2.3**

DRAWING FILE: P:\9300-9300\9300 Kwik Trip III - HOLMEN\DWG\DWG\9300-SF3-4-4 UTILITIES.DWG LAYOUT: SF3  
 PLOTTED: OCT 08, 2020 - 4:46PM PLOTTED BY: DAN



- OKEYED NOTES**
1. INSTALL OUTLET CONTROL STRUCTURE. SEE DETAIL G/SWP3.
  2. INSTALL OIL SEPARATOR ON OUTLET PIPE OF PROPOSED CATCH BASIN. (SNOUT OR APPROVED EQUAL)
  3. INSTALL STORM SEWER INLET WITH 36" SUMP. SEE DETAIL 7 & 8/SP6.
  - 3A. INSTALL STORM SEWER INLET WITH NO SUMP. SEE DETAIL 7 & 11/SP6.
  4. INSTALL STORM ENDWALL.
  5. INSTALL TRENCH DRAIN. SEE DETAIL 10/SP6.
  6. INSTALL STORM SEWER CATCH BASIN.
  7. CORE AND CONNECT 12" HDPE PIPE TO EXISTING STRUCTURE, SWAP GRATE.
  8. SWAP GRATE.

**STORES**

**STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING**  
 REI Engineering, INC.  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54485  
 PHONE: 715.675.9784 FAX: 715.675.1066  
 EMAIL: MAIL@REIENGINEERING.COM

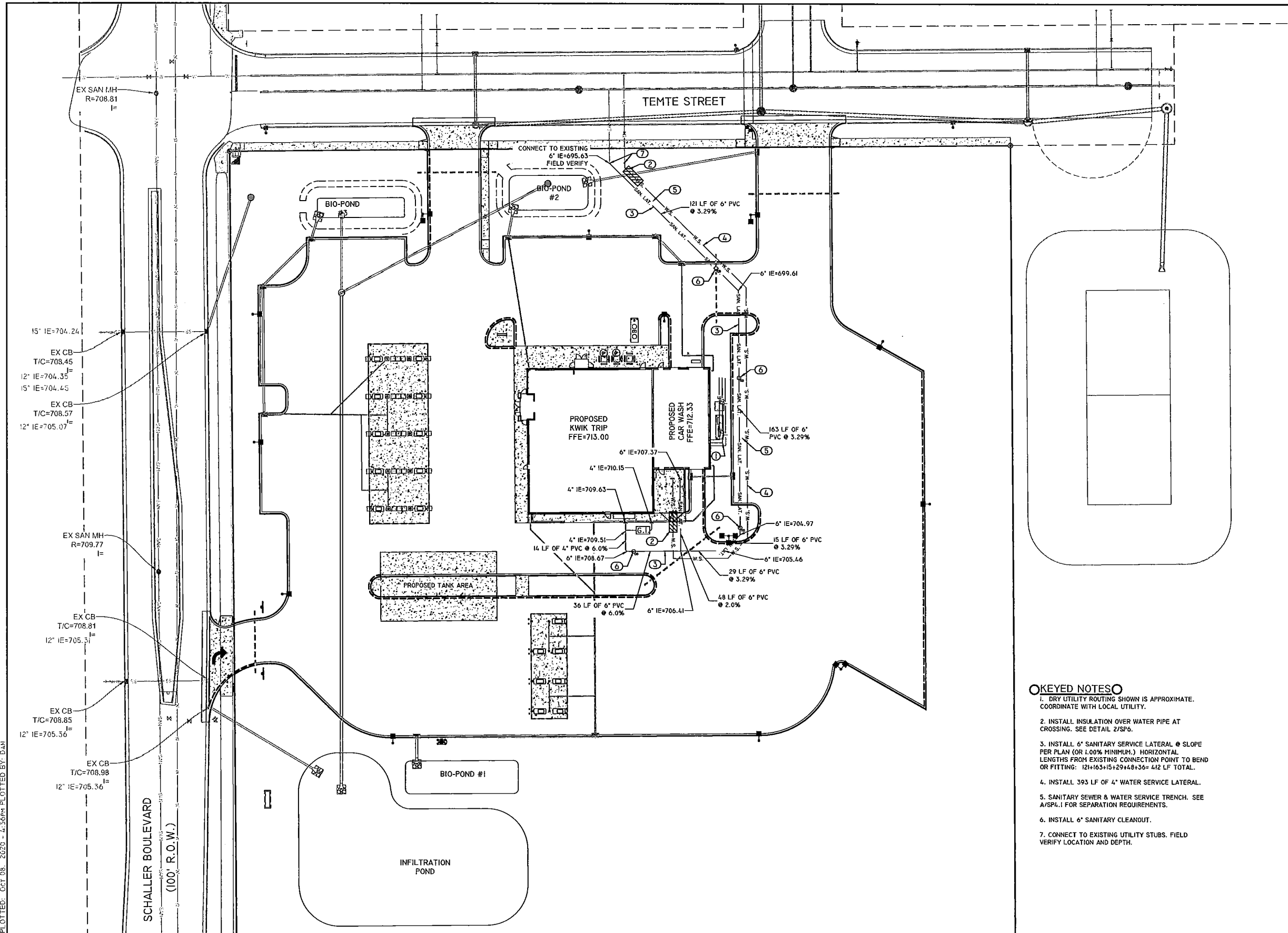
SCALE  
 0 30 60

STORM SEWER PLAN	CONVENIENCE STORE #1114	STH 35 - BLUFFVIEW BUSINESS PARK HOLMEN, WI
------------------	-------------------------	--

#	DATE	DESCRIPTION

DRAWN BY	NAP
SCALE	GRAPHIC
PROJ. NO.	9308
DATE	08/14/20 - BID DOCUMENTS
SHEET	SP3

DEARING FILE: P:\03\00-9329\0228 KWIK TRIP ILL. - HOLMEN\DWG\ILL\03386-SP3-4-2-1 UTILITIES.DWG LAYOUT: SP4  
 PLOTTED: OCT 08 2023 - 4:36PM PLOTTED BY: DAN



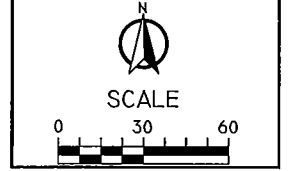
**KEYED NOTES**

1. DRY UTILITY ROUTING SHOWN IS APPROXIMATE. COORDINATE WITH LOCAL UTILITY.
2. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL 2/SP6.
3. INSTALL 6" SANITARY SERVICE LATERAL @ SLOPE PER PLAN (OR 1.00% MINIMUM.) HORIZONTAL LENGTHS FROM EXISTING CONNECTION POINT TO BEND OR FITTING: 12+163+15+29+48+36= 412 LF TOTAL.
4. INSTALL 393 LF OF 4" WATER SERVICE LATERAL.
5. SANITARY SEWER & WATER SERVICE TRENCH. SEE A/SP4.1 FOR SEPARATION REQUIREMENTS.
6. INSTALL 6" SANITARY CLEANOUT.
7. CONNECT TO EXISTING UTILITY STUBS. FIELD VERIFY LOCATION AND DEPTH.

**KWIK TRIP**  
**STORES**  
**KWIK STAR**  
**STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, Inc.  
 4090 N. 20th AVENUE  
 WAUKESHA, WISCONSIN 53401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM



UTILITY PLAN  
 CONVENIENCE STORE #1114  
 STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP4

**GENERAL :**

- COMPLY WITH THE WORK SAFETY PRACTICES SPECIFIED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS. OSHA PROHIBITS ENTRY INTO "CONFINED SPACES," SUCH AS MANHOLES AND INLETS (SEE 29 CFR SECTION 1910.146), WITHOUT UNDERTAKING CERTAIN SPECIFIC PRACTICES AND PROCEDURES. CONSTRUCTION SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCING OF THE CONSTRUCTION OPERATIONS.
- EXISTING BOUNDARY, LOCATION, TOPOGRAPHIC, AND UTILITY INFORMATION SHOWN ON THIS PLAN IS FROM A FIELD SURVEY BY ISG INC. DATED APRIL 14TH, 2020.
- PERFORM ALL UTILITY WORK IN ACCORDANCE WITH STATE AND CITY REQUIREMENTS.
- CONNECT TO EXISTING SANITARY SEWER MH'S BY COREDRILLING. CONNECT TO EXISTING STORM SEWER MH'S BY EITHER SAWCUTTING OR COREDRILLING. USE SAWS OR DRILLS THAT PROVIDE WATER TO THE BLADE. MEET ALL CITY STANDARDS AND SPECIFICATIONS FOR THE CONNECTION. RECONSTRUCT INVERTS AFTER INSTALLATION. USE WATER STOP GASKETS IN ORDER TO PROVIDE WATERTIGHT SEALS WHEN PENETRATING A STRUCTURE WALL WITH A PIPE. TAKE MEASUREMENTS BEFORE BEGINNING CONSTRUCTION TO ENSURE THAT SERVICE CONNECTIONS DO NOT CUT INTO MAINTENANCE ACCESS STRUCTURE JOINTS OR PIPE BARREL JOINTS.
- PERFORM TRENCH EXCAVATIONS FOR ALL UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF O.S.H.A. 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." (WWW.OSHA.GOV)
- COORDINATE BUILDING UTILITY CONNECTION LOCATIONS AT 5 FT. OUT FROM THE PROPOSED BUILDING WITH THE INTERIOR PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION.
- THE SUBSURFACE UTILITY INFORMATION SHOWN ON THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING UTILITIES ARE SHOWN OR, IF SHOWN, EXIST IN THE LOCATIONS INDICATED ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES (INCLUDING WATER AND SEWER LINES AND APPURTENANCES). NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- CONTACT UTILITY COMPANIES FOR LOCATIONS OF ALL PUBLIC AND PRIVATE UTILITIES WITHIN THE WORK AREA PRIOR TO BEGINNING CONSTRUCTION. CONTACT DIGGER'S HOTLINE AT (414) 259-1181 IN THE MILWAUKEE METRO AREA, OR 1-800-242-9511 ELSEWHERE IN WISCONSIN FOR EXACT LOCATIONS OF EXISTING UTILITIES AT LEAST 72 HOURS (NOT INCLUDING WEEKENDS AND HOLIDAYS) BEFORE BEGINNING ANY CONSTRUCTION. OBTAIN TICKET NUMBER AND MEET WITH REPRESENTATIVES OF THE VARIOUS UTILITIES AT THE SITE. PROVIDE THE OWNER WITH THE TICKET NUMBER INFORMATION. DIGGER'S HOTLINE IS A FREE SERVICE THAT LOCATES MUNICIPAL AND UTILITY COMPANY LINES, BUT DOES NOT LOCATE PRIVATE UTILITY LINES. USE AN INDEPENDENT LOCATOR SERVICE OR OTHER MEANS IN ORDER TO OBTAIN LOCATIONS OF PRIVATE UTILITY LINES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND ELECTRIC CABLES, TELEPHONE, TV, AND LAWN SPRINKLER LINES.
- POTHOLE TO VERIFY THE POSITIONS OF EXISTING UNDERGROUND FACILITIES AT A SUFFICIENT NUMBER OF LOCATIONS IN ORDER TO ASSURE THAT NO CONFLICT WITH THE PROPOSED WORK EXISTS AND THAT SUFFICIENT CLEARANCE IS AVAILABLE.
- WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METER AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL UTILITY COMPANIES.
- ARRANGE FOR AND SECURE SUITABLE DISPOSAL AREAS OFF-SITE. DISPOSE OF ALL EXCESS SOIL, WASTE MATERIAL, DEBRIS, AND ALL MATERIALS NOT DESIGNATED FOR SALVAGE. WASTE MATERIAL AND DEBRIS INCLUDES TREES, STUMPS, PIPE, CONCRETE, ASPHALTIC CONCRETE, CANS, OR OTHER WASTE MATERIAL FROM THE CONSTRUCTION OPERATIONS. OBTAIN THE RIGHTS TO ANY WASTE AREA FOR DISPOSAL OF UNSUITABLE OR SURPLUS MATERIAL EITHER SHOWN OR NOT SHOWN ON THE PLANS. ALL WORK IN DISPOSING OF SUCH MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE WORK. ALL DISPOSAL MUST CONFORM TO APPLICABLE SOLID WASTE DISPOSAL PERMIT REGULATIONS. OBTAIN ALL NECESSARY PERMITS AT NO COST TO THE OWNER.
- STRAIGHT LINE SAW-CUT EXISTING BITUMINOUS OR CONCRETE SURFACING AT THE PERIMETER OF PAVEMENT REMOVAL AREAS. USE SAWS THAT PROVIDE WATER TO THE BLADE. TACK, AND MATCH ALL CONNECTIONS TO EXISTING BITUMINOUS PAVEMENT.
- RELOCATE OVERHEAD POWER, TELEPHONE, AND CABLE LINES AS REQUIRED.
- ALL MATERIALS REQUIRED FOR THIS WORK SHALL BE NEW MATERIAL CONFORMING TO THE REQUIREMENTS FOR CLASS, KIND, GRADE, SIZE, QUALITY, AND OTHER DETAILS SPECIFIED HEREIN OR AS SHOWN ON THE PLANS. DO NOT USE RECYCLED OR SALVAGED AGGREGATE, ASPHALTIC PAVEMENT, CRUSHED CONCRETE, OR SCRAP SHINGLES. UNLESS OTHERWISE INDICATED, THE CONTRACTOR SHALL FURNISH ALL REQUIRED MATERIALS.
- RESTORE THE PUBLIC RIGHT-OF-WAY. REPLACE ANY CONCRETE CURB AND GUTTER, BITUMINOUS PAVEMENT, SIDEWALK, OR VEGETATIVE COVER DAMAGED BY THE CONSTRUCTION ACTIVITY. RESTORE DAMAGED TURF WITH SOD WITHIN THE PUBLIC RIGHT-OF-WAY. THE WORK AREA SHOWN IS GENERAL AND MAY NEED TO BE ADJUSTED IN THE FIELD.
- WHEN SAWING OR DRILLING CONCRETE OR MASONRY, USE SAWS THAT PROVIDE WATER TO THE BLADE. DO NOT ALLOW THE SLURRY PRODUCED BY THIS PROCESS TO BE TRACKED OUTSIDE OF THE IMMEDIATE WORK AREA OR DISCHARGED INTO THE SEWER SYSTEM.
- ADJUST ALL CURB STOPS, VALVE BOXES, MAINTENANCE HOLE CASTINGS, CATCHBASIN CASTINGS, CLEANOUT COVERS, AND SIMILAR ITEMS TO FINISHED GRADE.
- INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE.
- OBTAIN AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, ETC. REQUIRED BY AGENCIES THAT HAVE JURISDICTION OVER THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS, LETTERS OF CREDIT, OR CASH SURETIES RELATED TO THE WORK. EXECUTE AND INSPECT WORK IN ACCORDANCE WITH ALL LOCAL AND STATE CODES, RULES, ORDINANCES, OR REGULATIONS PERTAINING TO THE PARTICULAR TYPE OF WORK INVOLVED.
- OBTAIN PERMITS FROM THE CITY FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONSTRUCT SANITARY SEWER, WATERMAIN, AND STORM SEWER UTILITIES IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, OR THE LATEST REVISED EDITION.
- TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
- INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.

**WATER DISTRIBUTION SYSTEM :**

- BRING ALL SITE UTILITIES TO 5' OUTSIDE OF THE BUILDING LINE WITH THE EXCEPTION OF THE WATER SERVICE. EXTEND WATER SERVICE INTO THE BUILDING AND UP TO THE FLANGE FOR THE WATER METER.
- SEPARATION OF WATER AND SEWER:** PROVIDE HORIZONTAL AND VERTICAL SEPARATIONS AS REQUIRED BY CODE. SEE DETAIL.
- WATERMAIN DEPTH:** MAINTAIN 7.5 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILITY CROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED. INCLUDE COSTS TO DEEPER WATER LINES IN THE BIDD.
- DISINFECTION:** DISINFECT ALL COMPLETED WATERMAINS IN ACCORDANCE WITH AWWA STANDARD C651. IF THE TABLET OR CONTINUOUS FEED METHODS ARE USED, DISINFECT USING WATER THAT CONTAINS AT LEAST 50 PPM OF AVAILABLE CHLORINE. DO NOT USE THE TABLET METHOD ON SOLVENT-WELDED PLASTIC OR ON SCREWED-JOINT STEEL PIPE BECAUSE OF THE DANGER OF FIRE OR EXPLOSION FROM THE REACTION OF THE JOINT COMPOUNDS WITH THE CALCIUM HYPOCHLORITE. RETAIN THE TREATED WATER IN THE PIPELINE FOR AT LEAST 24 HOURS. MEASURE THE CHLORINE RESIDUAL AT THE END OF THE 24 HOUR PERIOD. THE FREE CHLORINE RESIDUAL MUST BE AT LEAST 10 MG/L MEASURED AT ANY POINT IN THE LINE. MEASUREMENT OF THE CHLORINE CONCENTRATION AT REGULAR INTERVALS SHALL BE IN ACCORDANCE WITH STANDARD METHODS, AWWA M-12, OR USING APPROPRIATE CHLORINE TEST KITS.
- TESTING:** PRESSURE TEST AND PERFORM BACTERIOLOGICAL TESTS ON ALL WATER LINES UNDER THE SUPERVISION OF THE CITY PUBLIC WORKS DEPARTMENT. NOTIFY THE CITY AT LEAST 24 WORKING HOURS PRIOR TO ANY TESTING. PRESSURIZE THE WATERLINE TO 104-KPA (150-PSI) GAUGE PRESSURE (MEASURED AT THE POINT OF LOWEST ELEVATION) BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY MANNER. MAINTAIN THE TEST PRESSURE FOR A MINIMUM OF 2 HOURS. DO NOT ADD WATER TO THE WATERMAIN IN ORDER TO MAINTAIN THE REQUIRED PRESSURE DURING THE WATER MAIN PRESSURE TESTING. THE TEST SECTION OF PIPE IS ACCEPTABLE WITH A PRESSURE DROP OF 14 KPA (2 PSI) OR LESS.
- USE MUELLER H 10300 OR FORD EM 2 7057, OR APPROVED EQUAL, AT ALL CURB STOP LOCATIONS. STATIONARY ROD IS REQUIRED ON ALL CURB STOPS.
- BUILDING WATER SERVICES:** WATER SERVICE PIPE SHALL MEET THE FOLLOWING SPECIFICATIONS AND BE APPROVED BY THE LOCAL GOVERNING AGENCY. 2.5 INCH OR LESS: HDPE PER ASTM D2737 SDR 9 OR TYPE K COPPER PER ASTM B - 88, 4 INCH OR GREATER: DIP PER AWWA C151 OR PVC PER AWWA C-900.
- TRACER WIRE:** LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0715(2R) AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 382.30(1)(X).

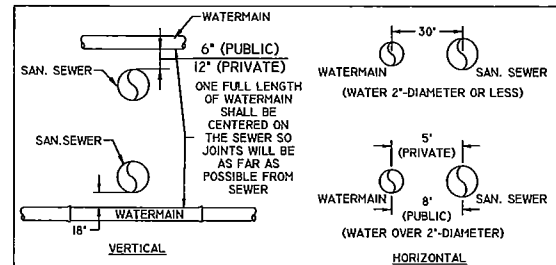
**STORM DRAINAGE :**

- UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
- ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED UNLESS OTHERWISE PERMITTED BY LOCAL MUNICIPALITY.
- INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FLOWLINE OF RIM.
- PVC PIPE:** USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
- TESTING:** TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER, LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
- USE NEENAH R-1550A FRAME WITH 2050D GRATE ON ALL PROPOSED CATCH BASINS.
- INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
- TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
- THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
- CLEANOUTS:** INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH S.P.S 382.35 3(X)(1). THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 10-INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE OR 6-INCH DIAMETER MINIMUM FOR PIPES 6 INCHES IN DIAMETER OR GREATER. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.



**HDPE REQUIREMENTS :**

- INSTALL DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AT LOCATIONS INDICATED ON THE PLAN.
- DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M252 FOR PIPE SIZES 4-INCH TO 10-INCH DIAMETER.
- DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2306 FOR PIPE SIZES 12-INCH TO 60-INCH DIAMETER.
- ALL FITTINGS MUST COMPLY WITH ASTM STANDARD D3212.
- WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.**
- LAY ALL HDPE PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321. ALL SECTIONS OF THE CORRUGATED HDPE PIPE SHALL BE COUPLED IN ORDER TO PROVIDE WATER TIGHT JOINTS.
- PERFORM DEFLECTION TESTS ON ALL HDPE PIPE AFTER THE SEWER LINES HAVE BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND PERFORM THE TEST AGAIN UNTIL ACCEPTABLE. SUPPLY THE MANDREL FOR DEFLECTION TESTING. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR HANDELL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE BALL OR HANDELL SHALL BE CLEARLY STAMPED WITH THE DIAMETER. PERFORM THE TESTS WITHOUT MECHANICAL PULLING DEVICES.



NOTES:  
1. WHEN THE ABOVE SEPARATIONS CANNOT BE MAINTAINED, THE ENGINEER MAY REQUIRE THE CONTRACTOR TO ENCASE THE SEWER IN CONCRETE.  
2. NO PRIVATE WATER MAIN OR WATER SERVICE SHALL BE INSTALLED WITHIN 6" OF A STORM SEWER. PUBLIC WATER MAIN MUST MEET THE SAME HORIZONTAL AND VERTICAL SEPARATION DISTANCES AS REQUIRED FOR SANITARY SEWER.

**SEWER / WATERMAIN SEPARATION DISTANCE**

**SANITARY SEWER :**

- PIPE:** USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
- CLEANOUTS:** INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE OR 6-INCH DIAMETER MINIMUM FOR PIPES 6 INCHES IN DIAMETER OR GREATER. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- TESTING:** PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
- UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 375 MM (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
- INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS.
- USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANITARY SEWER" LABEL.
- THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
- TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0715(2R) AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES SPS 82.30(1)(X).

**KWIK TRIP STORES**

**KWIK STAR STORES**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**REI**  
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING  
REI Engineering, INC.  
2080 N. 20TH AVENUE  
WALSAL, WISCONSIN 54401  
PHONE: 715.675.9784 FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM

NO SCALE

**UTILITY SPECS**

CONVENIENCE STORE #1114

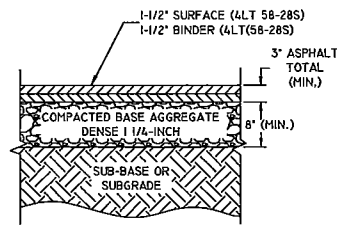
5TH 35 - BLUFFVIEW BUSINESS PARK  
HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
SCALE: GRAPHIC  
PROJ. NO.: 9388  
DATE: 08/14/20 - BID DOCUMENTS  
SHEET: SP4.1

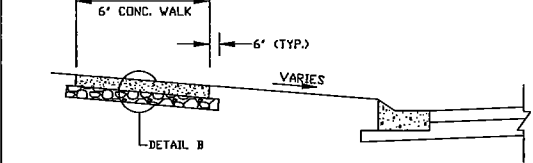
DRAWING FILE: P:\19000-070919-268 Kwik Trip (Ill.) - HOLMEN\DWG\4165-9388-SP4-1.dwg LAYOUT: SP4.1  
PLOTTED: OCT 08, 2020 4:26PM PLOTTED BY: DAN

DRAWING FILE: P:\9306-9306\9306 Kwik Trip 1114 - Holmen.dwg L:\MS19362-SP5-6-SITE DETAILS.DWG LAYOUT: SP5  
 PLOTTED: DPT OR 2020 - 5:27PM PLOTTED BY: DAN



NOTE:  
 ASPHALT PAVEMENT SECTION SHOWN IS  
 MINIMUM. MATCH IN KIND WITH EXISTING.

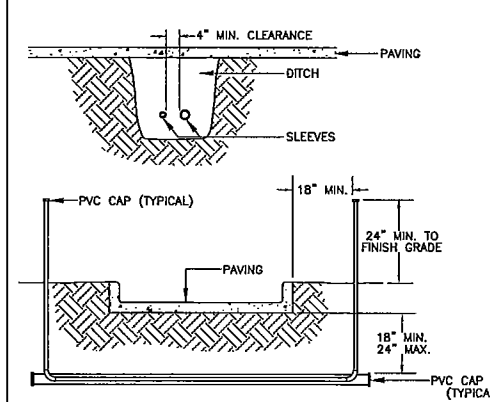
1 ASPHALT PAVEMENT DETAIL  
 SP5 NOT TO SCALE



**NOTES:**

- 6" THICK CONCRETE SIDEWALK AT ALL DRIVEWAYS
- PLACE PEDESTRIAN CURB RAMPS AT ALL INTERSECTIONS.
- PROVIDE EXPANSION JOINT MATERIAL AT MAX. 60 FDOT SPACING.
- PROVIDE EXPANSION JOINT MATERIAL ALONG BOTH EDGES OF WALK, WHERE WALK IS CONTAINED BETWEEN FIXED OBJECTS.

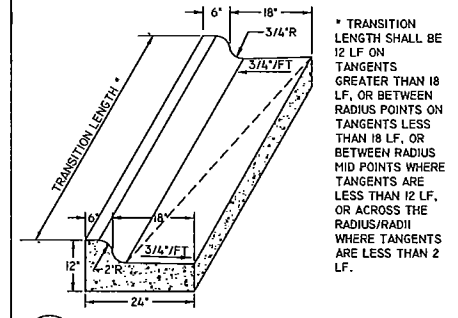
2 CONCRETE WALK/PAD DETAIL  
 SP5 NOT TO SCALE



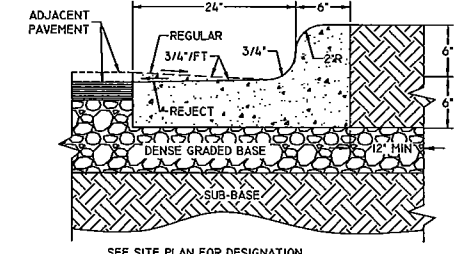
**NOTES:**

- ALL PVC IRRIGATION SLEEVES TO BE SCH 40 PVC PIPE.
- ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
- WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
- MECHANICALLY TAMP TO 95% PROCTOR.

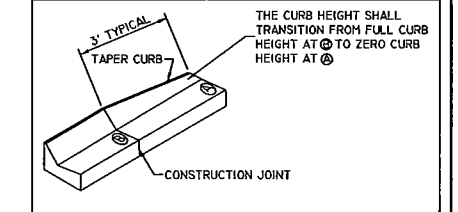
3 TYPICAL SLEEVING  
 SP5 NOT TO SCALE



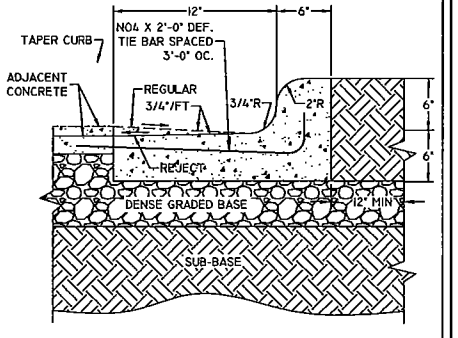
4 TRANSITION CURB & GUTTER  
 SP5 NOT TO SCALE



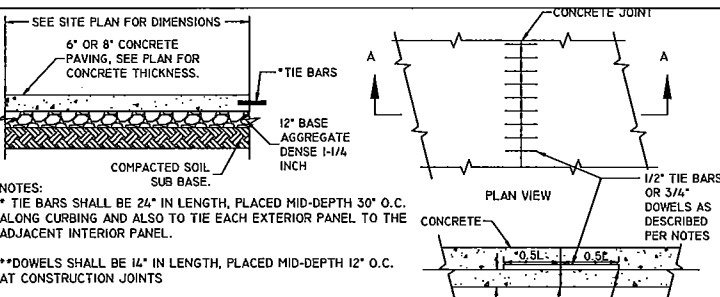
8 30" CURB & GUTTER / 30" REJECT CURB & GUTTER  
 SP5 NOT TO SCALE



5 STD CURB & GUTTER TERMINI  
 SP5 NOT TO SCALE



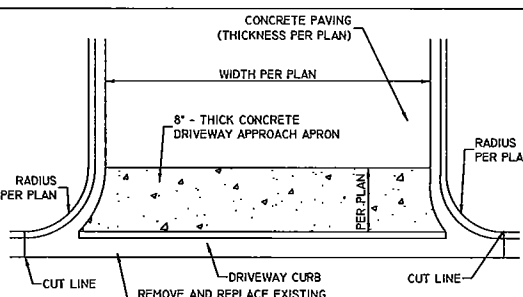
9 18" CURB & GUTTER / 18" REJECT CURB & GUTTER  
 SP5 NOT TO SCALE



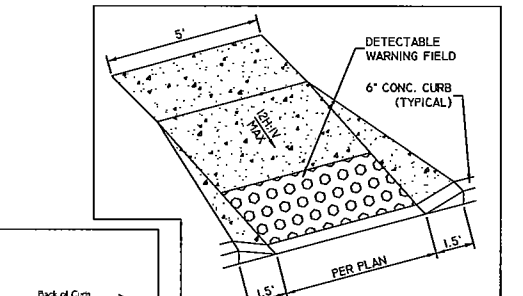
**NOTES:**

- \* TIE BARS SHALL BE 24" IN LENGTH, PLACED MID-DEPTH 30" O.C. ALONG CURBING AND ALSO TO TIE EACH EXTERIOR PANEL TO THE ADJACENT INTERIOR PANEL.
- \*\* DOWELS SHALL BE 14" IN LENGTH, PLACED MID-DEPTH 12" O.C. AT CONSTRUCTION JOINTS
- TIE BARS AND DOWELS SHALL BE EPOXY COATED IN CONFORMANCE WITH SUBSECTION 505.2.6.2 OF THE STANDARD SPECIFICATIONS.
- DOWELS SHALL BE FIXED ON ONE END AND GREASED ON THE OTHER
- CONCRETE PANELS SHALL NOT BE GREATER THAN 15' IN LENGTH IN ANY DIRECTION AND CONTRACTION JOINTS SHALL BE TO A MINIMUM DEPTH OF 1/2 THE CONCRETE DEPTH
- 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR, 3' O.C. IN BOTH DIRECTIONS, CONCRETE SEALER: TK-26UV
- 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR, 4' O.C. IN BOTH DIRECTIONS, CONCRETE SEALER: TK-26UV

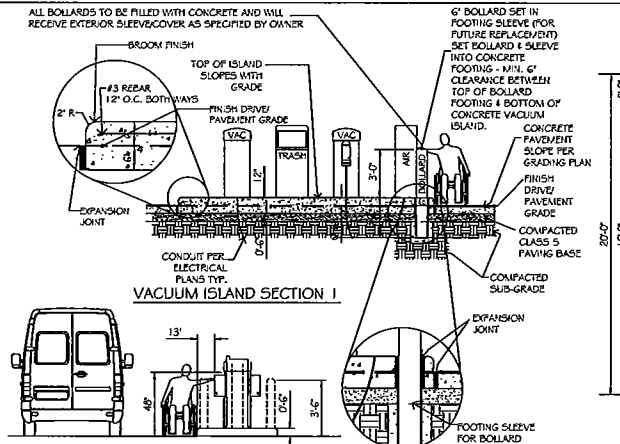
6 CONCRETE PAVEMENT DETAIL  
 SP5 NOT TO SCALE



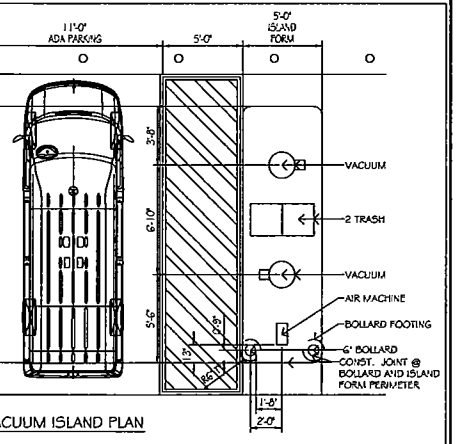
7 CONCRETE APPROACH DETAIL  
 SP5 NOT TO SCALE



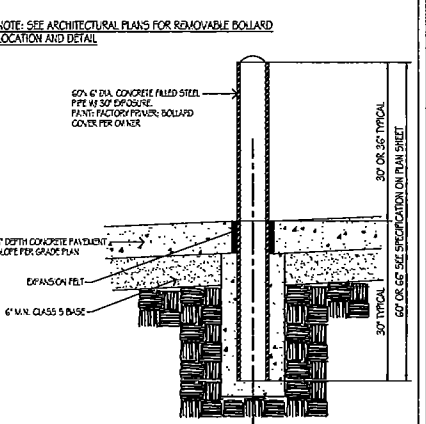
12 SIDEWALK RAMP  
 SP5 NOT TO SCALE



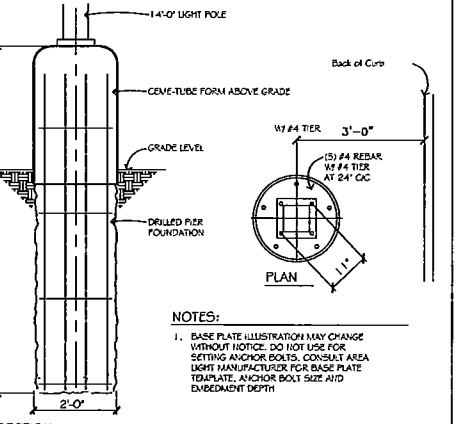
13 VACUUM ISLAND DETAILS  
 SP5 NOT TO SCALE



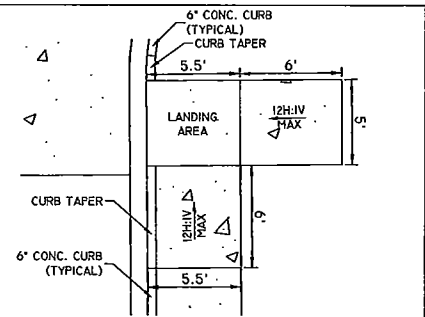
VACUUM ISLAND PLAN



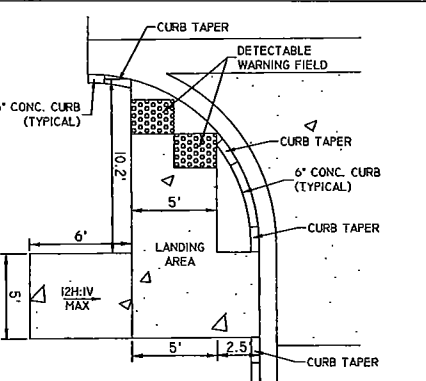
10 6" PIPE BOLLARD  
 SP5 NOT TO SCALE



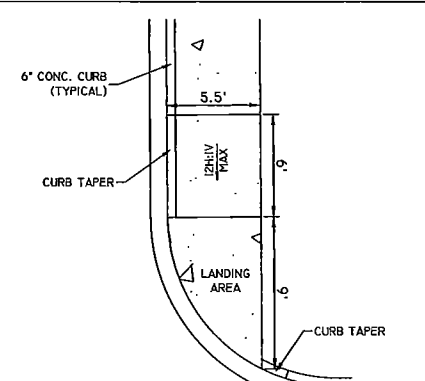
11 ROUND AREALIGHT FOUNDATION  
 SP5 NOT TO SCALE



12.1 SIDEWALK RAMP  
 SP5 NOT TO SCALE



12.2 SIDEWALK RAMP  
 SP5 NOT TO SCALE



12.3 SIDEWALK RAMP  
 SP5 NOT TO SCALE

# KWIK TRIP

## STORES

# KWIK STAR

## STORES

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, Inc.  
 4050 N. 20th AVENUE  
 WAUSAU, WISCONSIN 54485  
 PHONE: 715.675.9724 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM

NO SCALE

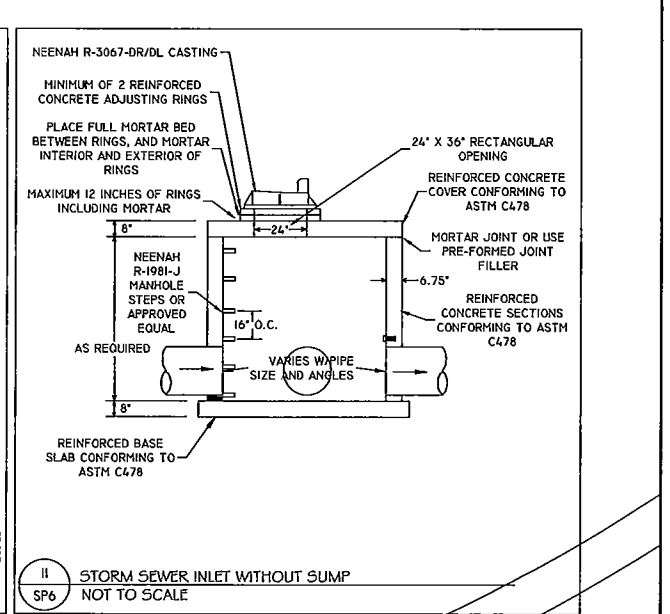
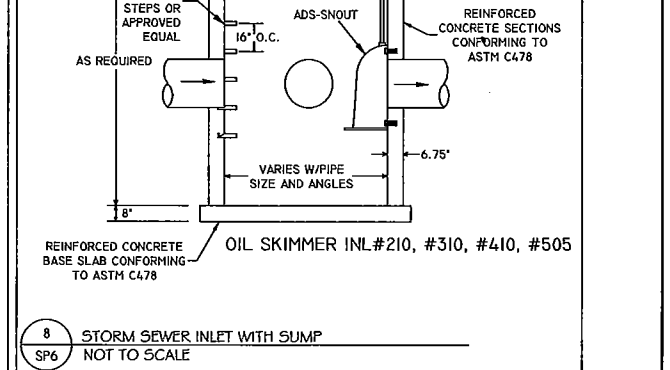
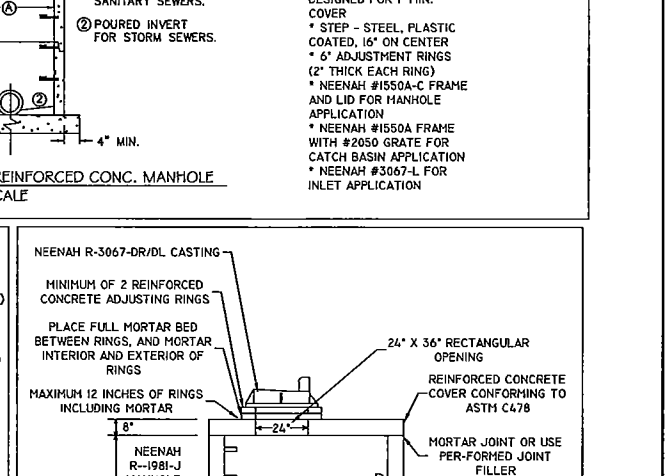
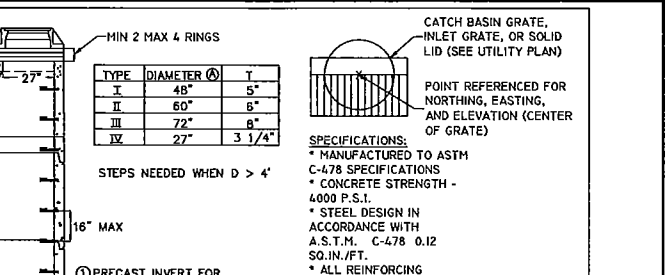
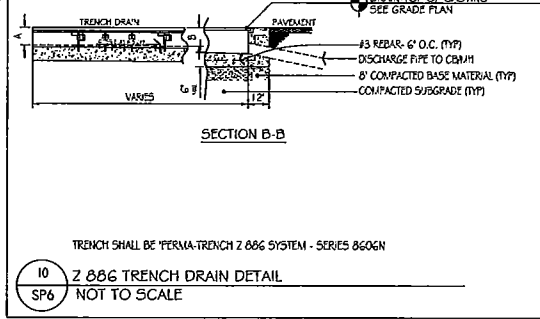
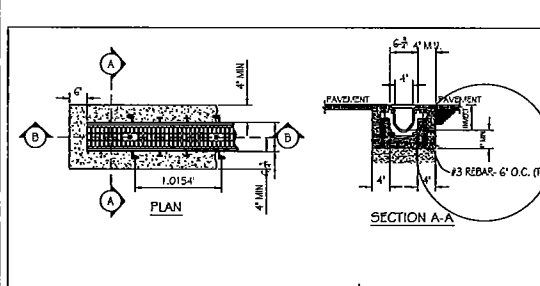
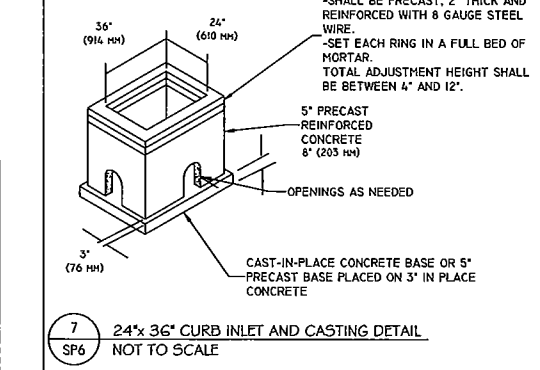
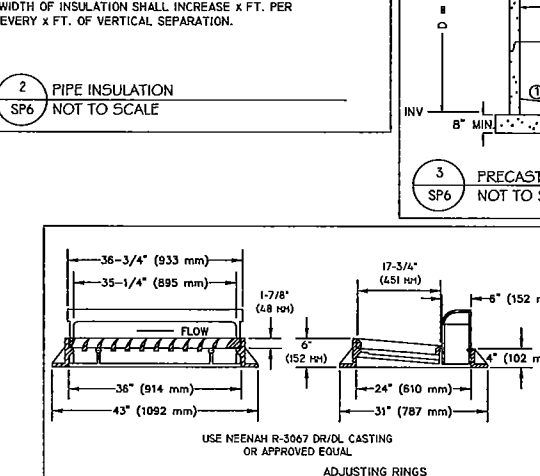
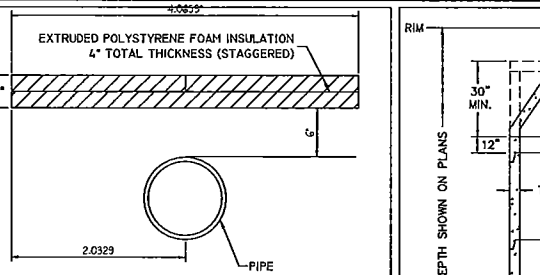
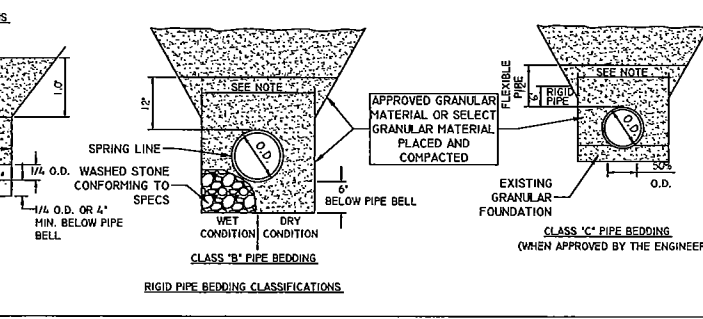
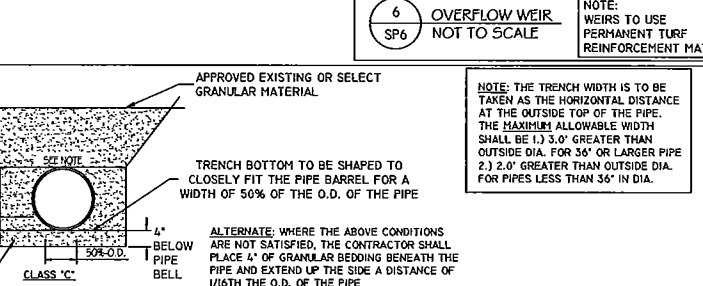
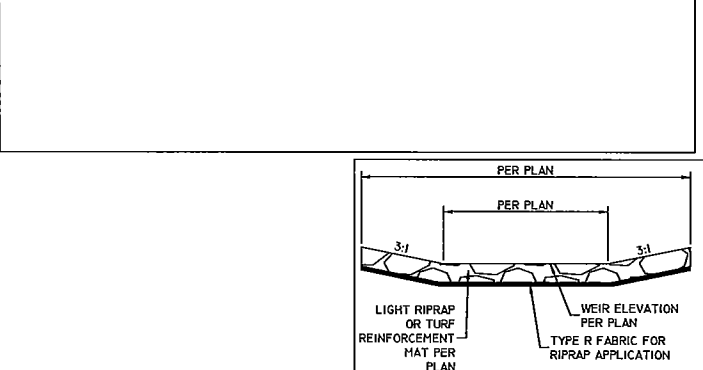
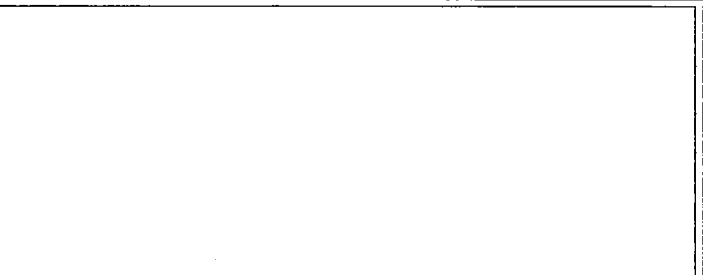
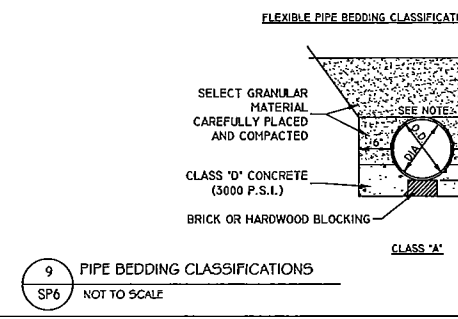
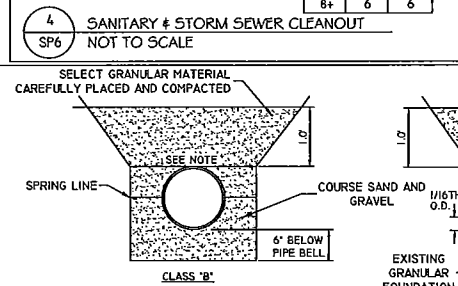
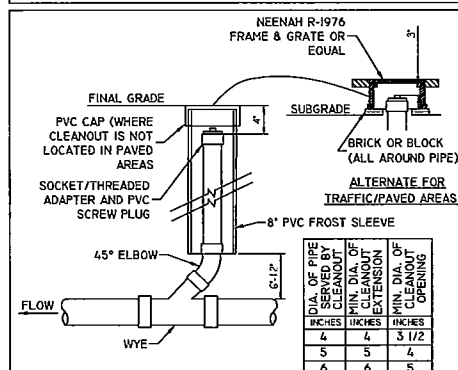
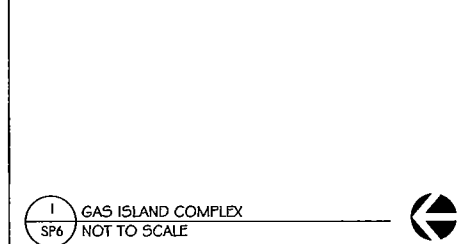
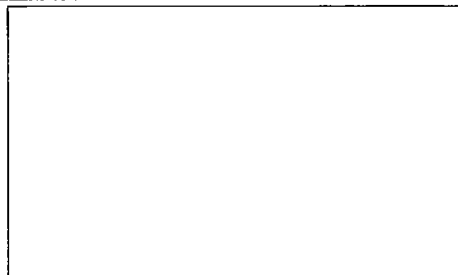
SITE PLAN DETAILS  
 CONVENIENCE STORE #1114

STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: NOT TO SCALE  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP5

DRAWING FILE: P:\9306-9306\9306 Kwik Trip III - Holmen\DWG\19366-SP6-6-SITE DETAILS.DWG LAYOUT: SP6  
 PLOTTED: OCT 08, 2020 - 6:57PM PLOTTED BY: DAN



**KWIK TRIP STORES**

**KWIK STAR STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54981  
 PHONE: 715.675.9784 FAX: 715.675.1060  
 EMAIL: MAIL@REIENGINEERING.COM

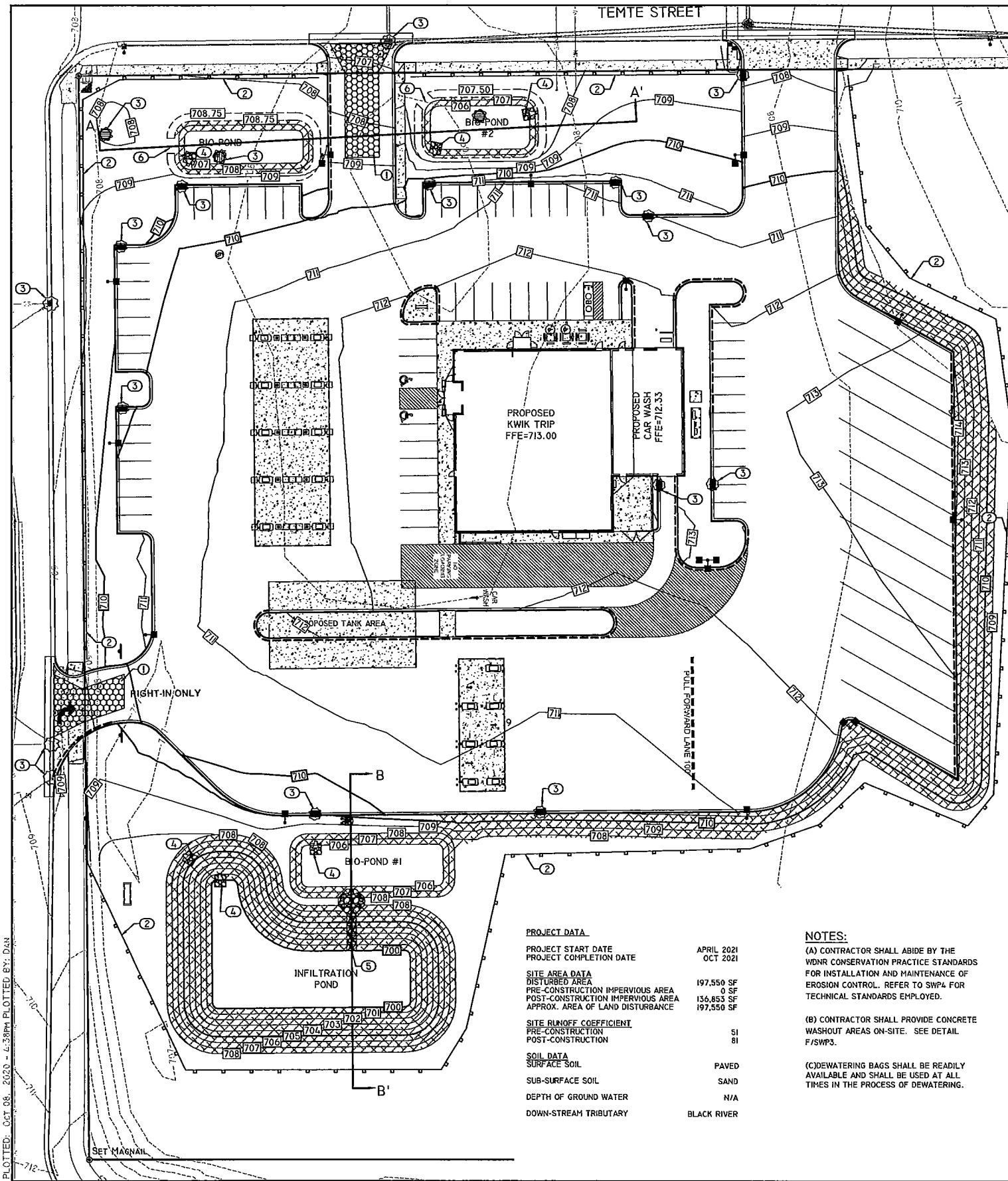
NO SCALE

SITE PLAN DETAILS  
 CONVENIENCE STORE #1114  
 STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: NOT TO SCALE  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP6

DRAWING FILE: P:\0206-03990\03988 Kwik Trip III.dwg - HOLMEN\DWG\LAN\53588-SF7-SHP1-EC.DWG LAYOUT: SWP1  
 PLOTTED: Oct 08, 2020 4:33PM PLOTTED BY: DAN



**OKEYED NOTES**

1. TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/SWP3.
2. INSTALL SILT FENCE. SEE DETAIL D/SWP3.
3. PROVIDE INLET PROTECTION. REFER TO SWP2 FOR ACCEPTABLE PRODUCTS.
4. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL B/SWP3.
5. CONSTRUCT 14"-WIDE EMERGENCY OVERFLOW WEIR, WITH LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL G/SP6.
6. CONSTRUCT 8"-WIDE EMERGENCY OVERFLOW WEIR, WITH NO RIPRAP. SEE DETAIL G/SP6.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SOODED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.  
 -REFER TO THE SWP PLAN NOTES AND DETAIL SHEETS SWP2-4 FOR MORE INFORMATION.

CONTACT JEFF OSGOOD  
 KWIK TRIP, INC  
 P.O. BOX 2107  
 LA CROSSE, WI 54602  
 608-793-5547

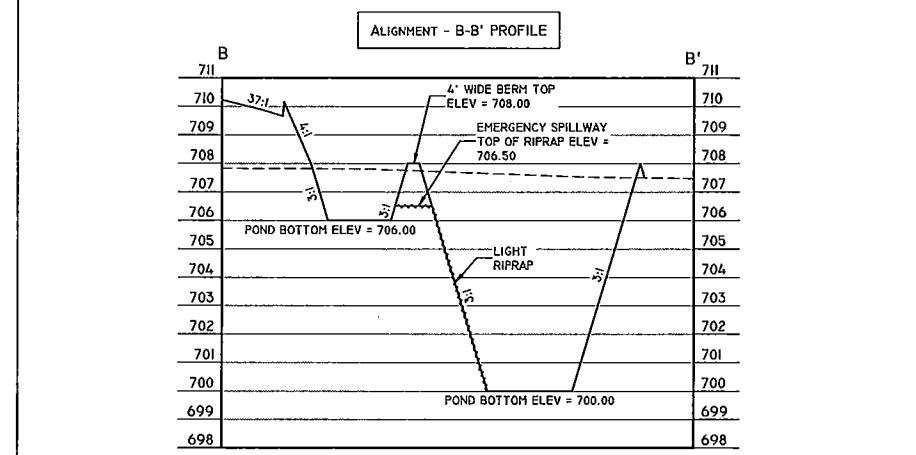
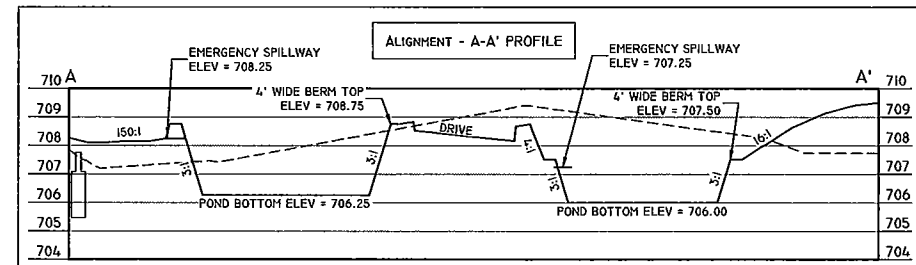
**SUGGESTED CONSTRUCTION SEQUENCE**

- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE
- INSTALL INLET PROTECTION ON EXISTING STORM STRUCTURES
- SAWCUT AND REMOVE PAVEMENT, STRIP TOPSOIL, REMOVALS
- ROUGH GRADING
- CONSTRUCT BUILDING
- SITE UTILITY INSTALLATION
- INSTALL BIORETENTION PONDS AND INFILTRATION POND
- INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- CONSTRUCT BASE COURSE AND PAVEMENT
- INSTALL LAWN/ LANDSCAPE
- FLUSH STORM SEWER
- REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

INSTALL WISDOT URBAN TYPE B EROSION CONTROL BLANKET ON SIDE SLOPES OF 4:1 OR GREATER. SEE DETAIL E/SWP3 FOR INSTALLATION.

ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)	
ITEM	QUANTITY
ROCK CONSTRUCTION ENTRANCE	270 SQ.YD.
INLET PROTECTION	16
EROSION CONTROL BLANKET	2,700 SQ.YD.
RIP RAP	15 CU. YD.
SILT FENCE	1,730 L.F.
CULVERT PROTECTION	X
DITCH CHECK	AS NEEDED
BIO ROLL/EROSION LOG	AS NEEDED

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL PROVIDE ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.



1 POND CROSS SECTION DETAILS  
 NTS

**PROJECT DATA**

PROJECT START DATE	APRIL 2021
PROJECT COMPLETION DATE	OCT 2021
<b>SITE AREA DATA</b>	
DISTURBED AREA	197,550 SF
PRE-CONSTRUCTION IMPERVIOUS AREA	0 SF
POST-CONSTRUCTION IMPERVIOUS AREA	156,853 SF
APPROX. AREA OF LAND DISTURBANCE	197,550 SF
<b>SITE RUNOFF COEFFICIENT</b>	
PRE-CONSTRUCTION	51
POST-CONSTRUCTION	81
<b>SOIL DATA</b>	
SURFACE SOIL	PAVED
SUB-SURFACE SOIL	SAND
DEPTH OF GROUND WATER	N/A
DOWN-STREAM TRIBUTARY	BLACK RIVER

**NOTES:**

(A) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL. REFER TO SWP4 FOR TECHNICAL STANDARDS EMPLOYED.

(B) CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AREAS ON-SITE. SEE DETAIL F/SWP3.

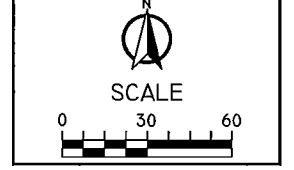
(C) DEWATERING BAGS SHALL BE READILY AVAILABLE AND SHALL BE USED AT ALL TIMES IN THE PROCESS OF DEWATERING.

**Kwik TRIP STORES**

**Kwik STAR STORES**

**Kwik TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4089  
 EMAIL: MAIL@REIENGINEERING.COM



**EROSION CONTROL PLAN**

CONVENIENCE STORE #1114

STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SWP1

**GENERAL STORMWATER POLLUTION PREVENTION:**

APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITY.

**STORMWATER POLLUTION PREVENTION PLAN (SWPPP):** THE SWPPP CONSISTS OF THIS SUMMARY, PLAN SHEETS SWPI-4, AND THE STORMWATER MANAGEMENT PLAN. KEEP A COPY OF THE SWPPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING THE CONSTRUCTION. DURING THE CONSTRUCTION PROCESS THE SWPPP WILL HAVE TO BE AMENDED FOR ALL CHANGES PERFORMED BY THE CONTRACTOR. THE OWNER SHALL BE AWARE OF THE AMENDMENTS PRIOR TO CHANGES MADE TO THE SWPPP PLAN. ALL NOTES, PHOTOGRAPHS, RECORDED DATES, SKETCHES, REFERENCES, AND DIAGRAMS WILL HAVE TO BE RECORDED AND MADE AVAILABLE AS PART OF THE SWPPP PERMIT.

INDIVIDUAL(S) PREPARING THE SWPPP FOR THE PROJECT, OVERSEEING IMPLEMENTATION OF THE SWPPP, REVISING AND AMENDING THE SWPPP, AND AT LEAST ONE INDIVIDUAL ON THE PROJECT PERFORMING INSTALLATION, INSPECTION, MAINTENANCE, AND REPAIRS OF BMP'S MUST BE TRAINED. THE TRAINING MUST BE DONE BY A LOCAL, STATE, FEDERAL AGENCIES; PROFESSIONAL ORGANIZATION; OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, OR PERMANENT STORMWATER MANAGEMENT.

**RESPONSIBLE PARTIES:** THE CONTRACTOR MUST DESIGNATE A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION.

THE OWNER IS RESPONSIBLE FOR IDENTIFYING WHO WILL HAVE RESPONSIBILITY FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEMS.

**OWNER CONTACT:**

NAME: JEFF OSGOOD  
 COMPANY: KWIK TRIP INC.  
 ADDRESS: KWIK TRIP, INC. - STORE ENGINEERING  
 1626 OAK STREET, P.O. BOX 2107  
 LA CROSSE, WI 54601-2107  
 TELEPHONE: (608) 793-5547

**SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION :**

- PRIOR TO ANY WORK, CONTRACTOR SHALL VISIT THE SITE, DOCUMENT EXISTING CONDITIONS AS NECESSARY (PHOTOS, NOTES, ETC) AND NOTE EXISTING DRAINAGE PATTERNS ON AND OFF SITE THAT ARE RELATED TO THE PROJECT. THESE NOTES SHALL BE PART OF THE SWPPP.
- INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SILT FENCE, ROCK CONSTRUCTION ENTRANCE(S), EROSION CONTROL BERRNS, ROCK FILTERS, INLET AND CULVERT PROTECTION, ROCK /EARTH BERRNS, AND SEDIMENTATION BASINS. PROTECT ALL RECEIVING WATERS, CATCH BASINS, DITCHES, INLETS ETC. IN AND AROUND THE SITE. ALL PROTECTIVE AND PREVENTATIVE MEASURES MUST BE IN PLACE AND INSPECTED PRIOR TO BEGINNING SITE CLEARING, GRADING, OR OTHER LAND-DISTURBING ACTIVITY.
- PRIOR TO BEGINNING SITE CLEARING AND GRADING, PROTECT ALL STORM SEWER INLETS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSIDE STORM SEWER SYSTEM, SEAL ALL STORM SEWER INLETS THAT ARE NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION. PROTECT ALL OTHER STORM SEWER INLETS BY INSTALLING SEDIMENT CONTROL DEVICES, SUCH AS SILT SACKS, OR SIMILAR PRODUCT. STRAW BALES OR FABRIC UNDER THE GRATES ARE NOT ACCEPTABLE FORMS OF INLET PROTECTION. PROTECT NEW STORM SEWER INLETS AS THEY ARE COMPLETED. MAINTAIN STORM SEWER INLET PROTECTION IN PLACE UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLETS ARE STABILIZED.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE WHEN AT ALL POSSIBLE CONTRACTOR SHALL DESIGNATE ONLY ONE ACCESS POINT FOR VEHICLES ENTERING AND EXITING THE SITE. THE ROCK ON THE ENTRANCE WILL HAVE TO BE INSPECTED DAILY AND REPLACED OR ROCK SUPPLEMENTED BY THE CONTRACTOR WHEN OVER 50% OF THE VOIDS IN THE ROCK ARE FILLED. A CLEANING STATION SHOULD BE MADE AVAILABLE TO DRIVERS AND VISIBLY SIGNED AS SUCH. PROVIDE SHOVELS, BROOMS AND/OR HOSE WITH A WASH OUT AREA SO SOILS CAN BE REMOVED FROM VEHICLES ON SITE.
- AVOID ENTIRE REMOVAL OF TREES AND SURFACE VEGETATION ALL AT ONCE WHENEVER POSSIBLE AS THIS LIMITS THE AMOUNT OF SITE SUSCEPTIBLE TO EROSION. SCHEDULE CONSTRUCTION ZONES AND NOTE THIS ON THE SWPP PLAN IN ORDER TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL AT ANY GIVEN TIME. UTILIZE VEGETATION REMOVED BY ON SITE GRINDING AND MULCHING AND USING THIS MATERIAL TO PROTECT THE SOIL FROM EROSION.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, COMPLETE PERMANENT OR TEMPORARY STABILIZATION AGAINST EROSION DUE TO RAIN, WIND, AND RUNNING WATER WITHIN 7 CALENDAR DAYS ON ALL DISTURBED OR GRADED AREAS. THIS REQUIREMENT DOES NOT APPLY TO THOSE AREAS THAT ARE CURRENTLY BEING USED FOR MATERIAL STORAGE ON A DAILY BASIS OR FOR THOSE AREAS ON WHICH GRADING, SITE BUILDING, OR OTHER CONSTRUCTION ACTIVITIES ARE ACTIVELY UNDERWAY. PROVIDE TEMPORARY COVER ON ALL STACKED TOPSOIL PILES, AND OTHER AREAS OF STOCKPILED EXCAVATED MATERIAL IN ORDER TO PREVENT SOIL EROSION AND RAPID RUNOFF DURING THE CONSTRUCTION PERIOD. STOCKPILES CAN BE MULCHED, COVERED WITH POLY OR FABRIC, AND OR SEEDED DURING PROLONGED EXPOSURE. PROLONGED PERIODS OF OPEN, BARE EARTH WITHOUT GRASS COVER WILL NOT BE PERMITTED. STABILIZE ALL DISTURBED GREENSPACE AREAS WITH A MINIMUM OF 4" TOPSOIL IMMEDIATELY AFTER FINAL SUBGRADE COMPLETION. SEED AND MULCH, OR SOD AND PROTECT THESE AREAS WITHIN 48 HOURS AFTER COMPLETION OF FINAL GRADING WORK (WEATHER PERMITTING). STABILIZE ALL DISTURBED AREAS TO BE PAVED USING EARLY APPLICATION OF GRAVEL BASE. STABILIZE THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT CONVEYS WATER FROM THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE CONSTRUCTION SITE, WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR WITHIN 200 FEET FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZE TEMPORARY OR PERMANENT DRAINAGE DITCHES WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. PROTECT OUTFALLS MINIMUM OF 200 FEET DOWN STREAM AND TO THE SIDE OF THE DISCHARGE POINT. ADDITIONAL SETTLING "POTS" ACHIEVED BY FILTER LOGS OR FILTERED STICK BALES STAKED IN THE CHANNEL WILL DISSIPATE THE WATER ENERGY. PROVIDE PIPE OUTLETS WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
- RECEIVING WATERS - IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT THE SITE DISCHARGE POINT AS WELL AS DOWNSIDE TO THE RECEIVING BODY OF WATER (POND, LAKE, STREAM, ETC.) ON A REGULAR BASIS INCLUDING AFTER EACH STORM EVENT AND DOCUMENT IF ANY DIFFERENCES OR CHANGES IN NORMAL IN DISCHARGE AND IF MATERIAL IS LEAVING THE CONSTRUCTION SITE. IF SO IT SHALL BE DOCUMENTED AND REMOVED IMMEDIATELY.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

**POLLUTION CONTROL :**

- DESIGNATE A CONCRETE WASH-OUT AND TRUCK WASH AREA:  
**MAKE IT VISIBLE IN THE FIELD TO VEHICLE OPERATORS AND NOTE THIS ON THE SWPP PLAN.**
  - WHEN WASHOUTS OCCUR ON THE SITE, CONCRETE WASHOUT WATER MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. LIQUID AND SOLID WASTES MAY NOT TOUCH THE GROUND AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS.
  - ON SITES WHERE CONCRETE WASHOUT AREAS ARE NOT FEASIBLE AS SHOWN ON THE DETAIL SHEET, ABOVE GROUND METHODS AND/OR OFF-SITE METHODS CAN BE UTILIZED AS APPROVED BY OWNER.
  - CONCRETE WASHOUT MAY BE PROVIDED OFF-SITE BY CONCRETE CONTRACTOR OR CONCRETE SUPPLIER, AT AN APPROVED WASHOUT DISPOSAL AREA. CONCRETE SUPPLIER MAY PROVIDE CONCRETE WASHOUT AREAS ON-BOARD THEIR TRANSPORTS FOR DISPOSAL OFF-SITE. CONCRETE CONTRACTOR SHALL VERIFY WITH SUPPLIER IN REGARDS TO PROVIDED CONCRETE WASHOUT AREAS ON AND OFF-SITE, AS NECESSARY.
  - LIMIT EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES TO A DEFINED AREA PREFERABLY BEFORE THE CONSTRUCTION ACCESS/EXIT POINT. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. CONTAIN RUNOFF AND PROPERLY DISPOSE OF WASTE. ENGINE DEGREASING IS PROHIBITED.
- SOLID WASTE:** PROPERLY DISPOSE OF COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS, AND OTHER WASTES IN COMPLIANCE WITH STATE REQUIREMENTS.
- HAZARDOUS MATERIALS:** PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE DEBRIS, CLEANING WASTES, OIL, GASOLINE, PAINT, WASTEWATER, TOXIC MATERIALS, AND HAZARDOUS MATERIALS) OFF-SITE. DO NOT ALLOW WASTE AND UNUSED BUILDING MATERIALS TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. PROPERLY STORE OIL, GASOLINE, PAINT, AND OTHER HAZARDOUS MATERIALS IN ORDER TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. INCLUDE SECONDARY CONTAINMENT. RESTRICT ACCESS TO STORAGE AREAS IN ORDER TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH REGULATIONS.
- MACHINERY:** AND MECHANICALIZED EQUIPMENT THAT LEAKS WASTE SHALL HAVE A PROTECTIVE BARRIER OR CONTAINMENT UNDER THE DEVICE ADEQUATE TO CONTAIN THE WASTE. PROPERLY DISPOSE OF THE WASTE.
- EMERGENCY SPILL STATION:** CONTRACTOR SHALL LOCATE AND SIGN AN EMERGENCY SPILL STATION THAT HAS NECESSARY CONTAINMENT OR CLEANUP DEVICES FOR ALL WORKERS TO ACCESS.

**EROSION CONTROL :**

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS.

APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.

CONTRACTOR SHALL UTILIZE COARSELY GROUND WOOD AND TREE MULCHES TO COVER EXPOSED SOILS. MULCHES SHALL BE STORED ON SITE TO SUPPLEMENT AND USE IN PROBLEM AREAS DURING ALL PHASES OF THE CONSTRUCTION PROJECT.

CONTRACTOR SHALL USE STAR TACK OR OTHER ORGANIC SUBSTANCES IN SITUATIONS TO PREVENT SOIL FROM ERODING AWAY BY WIND OR RAIN.

WHENEVER POSSIBLE CONTRACTOR SHALL GRADE AREAS OF SOIL TO LIMIT POTENTIAL OF EROSION, TO INCLUDE TRACKING PERPENDICULAR TO FALL LINE OF GRADES AS WELL AS DIVERTING WATER FLOWS FROM PROBLEMATIC AREAS ON THE SITE.

SEEDING, FIBER BLANKETS, POLY/TARPS OR COVER MULCHES, DISKED MULCHES AND COMPOST CAN BE USED TO COVER TEMPORARILY EXPOSED AREAS FROM WIND AND RAIN. OTHER METHODS BY THE CONTRACTOR SHALL BE DOCUMENTED IN THE SWPPP.

**SEDIMENT CONTROL :**

**INLET SEDIMENT CONTROL PROTECTION DEVICES:**  
 THE FOLLOWING ARE APPROVED INLET SEDIMENT CONTROL DEVICES:

- ROAD DRAIN TOP SLAB MODEL RD 23 (FITS ROUGH OPENING FOR 2'X3' INLET), ROAD DRAIN TOP SLAB MODEL RD 27 (FITS ROUGH OPENING FOR 27" INLET), OR ROAD DRAIN TOP SLAB MODEL CG 3067 (FITS NEENAH CASTING WITH 35-1/4"X17-3/4" DIMENSIONS) MANUFACTURED BY WINCO, 799 THEIS DRIVE, SHAKOPEE, MN, 55379, PHONE (952) 233-3055. OR APPROVED EQUAL.
- SILT SACK MANUFACTURED BY ACF ENVIRONMENTAL, 2831 CARDWELL ROAD, RICHMOND, VA, 23234, PHONE (800) 448-3636. OR APPROVED EQUAL.
- INFRASAFE SEDIMENT CONTROL BARRIER. INSTALL GEOTEXTILE SOCK ON THE OUTSIDE OF THE BARRIER IN ORDER TO TRAP ADDITIONAL FINES. STANDARD FRAMES ARE AVAILABLE TO FIT 24" TO 30" DIAMETER AND 2'X3' OPENINGS. DISTRIBUTED BY ROYAL ENTERPRISES AMERICA, 30622 FOREST BOULEVARD, STACY, MN, 55079, PHONE (651) 462-2130. OR APPROVED EQUAL.
- RIDGE BAG ROCK LOG. USE ROCK LOGS ONLY FOR CURB INLETS AFTER PAVEMENT IS IN PLACE. MANUFACTURED BY RED BARN RIDGE, 3135 COUNTY ROAD 136, SAINT CLOUD, MN, 55301, PHONE (320) 253-3744. OR APPROVED EQUAL.
- INFLATABLE DRAIN PLUGS BY INTERSTATE PRODUCTS WWW.INTERSTATEPRODUCTS.COM OR APPROVED EQUAL.

**RIPRAP:**  
 RIPRAP AND FABRIC SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECS, WITH THE GRADE BEING SPECIFIED ON THE PLANS.

**SILT FENCE:**  
 INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1056.

INSTALL SILT FENCE ALONG THE CONTOUR (ON A LEVEL HORIZONTAL PLANE) WITH THE ENDS TURNED UP (J-HOOKS) IN ORDER TO HELP POND WATER BEHIND THE FENCE. INSTALL THE SILT FENCE ON THE UPHILL SIDE OF THE SUPPORT POSTS. PROVIDE A POST SPACING OF 1.2 M (4 FEET) OR LESS. DRIVE POSTS AT LEAST 0.6 M (2 FEET) INTO THE GROUND. ANCHOR THE SILT FENCE FABRIC IN A TRENCH AT LEAST 152 MM (6 INCHES) DEEP AND 152 MM (6 INCHES) WIDE DUG ON THE UPSLOPE SIDE OF THE SUPPORT POSTS. LAY THE FABRIC IN THE TRENCH AND THEN BACKFILL AND COMPACT WITH A VIBRATORY PLATE COMPACTOR. MAKE ANY SPLICES IN THE FABRIC AT A FENCE POST. AT SPLICES, OVERLAP THE FABRIC AT LEAST 152 MM (6 INCHES), FOLD IT OVER, AND SECURELY FASTEN IT TO THE FENCE POST. SILT FENCE SUPPORTING POSTS SHALL BE 51 MM (2 INCH) SQUARE OR LARGER HARDWOOD, PINE, OR STANDARD T- OR U-SECTION STEEL POSTS. T- OR U-SECTION STEEL POSTS SHALL WEIGH NOT LESS THAN 1,8602 KG PER METER (1.25 LB PER LINEAL FOOT). POSTS SHALL HAVE A MINIMUM LENGTH OF 1524 MM (5 FEET). POSTS SHALL HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC AND PREVENT SLIPPERING. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF WIDOT STANDARD SPECIFICATION 628 FOR PREASSEMBLED SILT FENCE, FURNISHED IN A CONTINUOUS ROLL IN ORDER TO AVOID SPLICES. GEOTEXTILE FABRIC SHALL BE UNIFORM IN TEXTURE AND APPEARANCE AND HAVE NO DEFECTS, FLAWS, OR TEARS. THE FABRIC SHALL CONTAIN SUFFICIENT ULTRAVIOLET (UV) RAY INHIBITOR AND STABILIZERS TO PROVIDE A MINIMUM TWO-YEAR SERVICE LIFE OUTDOORS. FABRIC COLOR SHALL BE INTERNATIONAL ORANGE. IN HIGH TRAFFIC AREAS CONTRACTOR SHALL REINFORCE SILT FENCE WITH WIRE FENCING AND METAL POSTS. EXTREME CIRCUMSTANCES WILL REQUIRE TEMPORARY CONCRETE MEDIUM SECTIONS TO SUPPORT MATERIAL BACKING OF STOCK PILED SOIL OR FILLED EARTH.

INSTALL SILTFENCE, OR OTHER EFFECTIVE SEDIMENT CONTROLS, AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SUCH THAT THE DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT FENCE BARRIERS AROUND THE PILES. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SACKS OR STAKED SILTFENCE. DO NOT STOCK PILE SOIL OR MATERIAL NEAR CATCH BASINS OR DRAINAGE WAYS.

**STONE TRACKING PAD (TEMPORARY ROCK CONSTRUCTION ENTRANCE):**  
 INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1057. USE 3/4" TO 6" DIAMETER ROCK. PLACE THE AGGREGATE IN A LAYER AT LEAST 300 MM (12 INCHES) THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 15 M (50 FEET) INTO THE CONSTRUCTION ZONE. USE A WIDOT TYPE R PERMEABLE GEOTEXTILE FABRIC MATERIAL BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW. MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED ROADWAYS. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS REQUIRED. CLOSE ENTRANCES NOT PROTECTED BY TEMPORARY ROCK CONSTRUCTION ENTRANCES TO ALL CONSTRUCTION TRAFFIC.

**TEMPORARY SEDIMENT BASINS**  
 IN THE CONSTRUCTION PROCESS OR IF NOTED ON THE PLAN THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AS PER GENERAL RULE THE SEDIMENT BASIN SHALL BE SIZED APPROPRIATELY TO A CAPACITY RELATED TO THE DRAINAGE AREA ON A RATIO OF 3,600 CUBIC FEET PER ACRE OF DRAINAGE ZONE ENTERING THE BASIN. BASINS SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT, MATERIAL REMOVED AND STABILIZED. IF CHANGES TO THE BASIN ARE MADE, DOCUMENT AND AMEND THE SWPP PLAN.

**D E W A T E R I N G :**

IF DEWATERING IS REQUIRED AND SUMP PUMPS ARE USED, ALL PUMPED WATER MUST BE DISCHARGED THROUGH AN EROSION CONTROL FACILITY (TEMPORARY SEDIMENTATION BASIN, GRIT CHAMBER, SAND FILTER, UPFLOW CHAMBER, HYDRO-CYCLONE, SWIRL CONCENTRATOR, DEWATERING BAG OR OTHER APPROPRIATE FACILITY) PRIOR TO LEAVING THE CONSTRUCTION SITE. PROPER ENERGY DISSIPATION MUST BE PROVIDED AT THE OUTLET OF THE PUMP SYSTEM. DISCHARGE CLEAR WATER ONLY. TO ACHIEVE BETTER SEPARATION OF THE MATERIAL SUSPENDED IN THE WATER A BIODEGRADABLE NON TOXIC FLOCCULANT AGENT MAY BE REQUIRED.

FOR MORE INFORMATION AND MATERIALS GO TO BY INTERSTATE PRODUCTS WWW.INTERSTATEPRODUCTS.COM

**INSPECTIONS - MAINTENANCE - DAILY RECORD - AMEND THE SWPP PLAN**

- CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS ON A DAILY BASIS UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, INSPECT AT LEAST ON A WEEKLY BASIS UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. REMOVE ACCUMULATED SEDIMENT DEPOSITS FROM BEHIND EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED. DO NOT ALLOW SEDIMENT TO ACCUMULATE TO A DEPTH OF MORE THAN ONE-THIRD OF THE HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICES. IMMEDIATELY REPLACE DETERIORATED, DAMAGED, ROTTED, OR MISSING EROSION CONTROL DEVICES. DOCUMENT INSPECTIONS AND DATES OF RAINFALL EVENTS. MAINTAIN A WRITTEN LOG OF ALL INSPECTION, MAINTENANCE, AND REPAIR ACTIVITIES RELATED TO EROSION AND SEDIMENT CONTROL FACILITIES. ALL NONFUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL INSPECTIONS AND MAINTENANCE ACTIVITIES MUST BE RECORDED IN WRITING DAILY IN A DETAILED RECORD/NOTES, PHOTOGRAPHS, SKETCHES, ETC, AND KEPT WITH THE SWPPP BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO ADJACENT PROPERTY, PAVEMENT AREAS, SIDEWALKS, STREETS, AND ALLEYS. REMOVAL SHALL BE ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION AND/OR AS DIRECTED BY THE CITY. CLEAN PAVED ROADWAYS BY SHOVELING OR WET-SWEEPING. DO NOT DRY SWEEP. IF NECESSARY, SCRAPE PAVED SURFACES IN ORDER TO LOOSEN COMPACTED SEDIMENT MATERIAL PRIOR TO SWEEPING. HAUL SEDIMENT MATERIAL TO A SUITABLE DISPOSAL AREA. STREET WASHING IS ALLOWED ONLY AFTER SEDIMENT HAS BEEN REMOVED BY SHOVELING OR SWEEPING.
- ALL SOIL HAULED FROM THE SITE SHALL BE ACCOUNTED FOR AND DOCUMENTED IN THE SWPP BY THE CONTRACTOR. ITS FINAL DESTINATION AND HOW THE SOIL HAS BEEN STORED AND STABILIZED.
- CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED (HARD-SURFACED AREAS PAVED AND VEGETATION ESTABLISHED IN GREENSPACE). REPAIR ANY RILLING, GULLY FORMATION, OR WASHOUTS. AFTER FINAL ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, AND NONBIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AND ANY ACCUMULATED SEDIMENTS. DISPOSE-OF OFF SITE. RESTORE PERMANENT SEDIMENTATION BASINS TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE.
- CONTRACTOR SHALL CLEAN SEDIMENTATION BASINS, STORM SEWER CATCHBASINS, DITCHES, AND OTHER DRAINAGE FACILITIES AS REQUIRED IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 OF THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- CONTRACTOR SHALL INSPECT INFILTRATION AREAS TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS ACCUMULATING. REMOVE SEDIMENT IMMEDIATELY ENSURING SUBSOIL'S ARE NOT COMPACTED BY MACHINERY.
- EVERY VEHICLE SHALL NOT TRACK MATERIAL OFF-SITE. CLEAN THE WHEELS OF CONSTRUCTION VEHICLES IN ORDER TO REMOVE SOILS BEFORE THE VEHICLES LEAVE THE CONSTRUCTION SITE. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- CONTRACTOR SHALL REINFORCE EROSION CONTROL FACILITIES IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES, DITCHES, AND AREAS IN FRONT OF CULVERTS AND CATCHBASINS) BY BACKING THEM WITH ROCK BAGS, SNOW FENCE, WIRE MESH, OR STIFF PLASTIC MESH REINFORCEMENT UNTIL PAVING AND TURF ESTABLISHMENT OPERATIONS HAVE BEEN COMPLETED. POSTS FOR THE REINFORCING FABRIC SHALL BE (4-INCH) DIAMETER WOOD POSTS, OR STANDARD STEEL FENCE POSTS WEIGHING NOT LESS THAN (3 LBS) PER LINEAL FOOT, WITH A MINIMUM LENGTH OF (30 INCHES) PLUS BURIAL DEPTH. SPACE POSTS FOR THE REINFORCING FENCE AT INTERVALS OF (10 FEET) OR LESS. DRIVE POSTS FOR THE REINFORCING FENCE AT LEAST (2 FEET) INTO THE GROUND.

**GENERAL SOIL STABILIZATION :**

(SEE LANDSCAPE PLAN FOR MORE INFORMATION)

ESTABLISHMENT OF LAWN, PRAIRIE/WILDFLOWER AND/OR PLANT BED AREAS WILL BE NOTED ON THE LANDSCAPE PLAN

TO ENSURE STABILIZATION OF SOILS, RESEEDING OF SOD WHERE APPLICABLE, PROPER WATERING AND MULCH MAINTENANCE WILL BE REQUIRED. INSPECT SEEDED OR SODDED AREAS ON A TIMELY DAY-TO-DAY BASIS. IN THE EVENT OF A SEEDING FAILURE, RESEED AND REMULCH THE AREAS WHERE THE ORIGINAL SEED HAS FAILED TO GROW AND PERFORM ADDITIONAL WATERING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER. SPECIAL MAINTENANCE PROVISIONS FOR WILD AND PRAIRIE GRASS SEEDED AREAS AS NOTED IN THE LANDSCAPE PLAN. PROMPTLY REPLACE ALL SOD THAT DRIES OUT TO THE POINT WHERE IT IS PRESUMED DEAD AFTER SOD THAT HAS BEEN DAMAGED, DISPLACED, WEAKENED, OR HEAVILY INFESTED WITH WEEDS AT NO ADDITIONAL COST TO THE OWNER.

IN AREAS TO BE TEMPORARILY SEEDED, USE INTRODUCED SEED MIXTURE EQUIVALENT TO WISDOT #10 OR #20. APPLY SEED MIXTURE PER WISDOT 630.3.3.5. INCORPORATE A FERTILIZER (SLOW RELEASE TYPE WITH 10 WEEK RESIDUAL) CONSISTING OF 23-0-30 (N-P-K) INTO THE SOIL AT AN APPLICATION RATE OF (200 LBS PER ACRE) BY DISKING PRIOR TO SEEDING. IN PROBLEMATIC AREAS IT MAY BE NECESSARY TO USE A LOW PHOSPHORUS ORGANIC FERTILIZER IN CASES WHERE SEEDS MAY NOT GERMINATE. IF THIS IS THE CASE, SEED AND FERTILIZER SHALL BE DISKED INTO THE SURFACE AND MULCHED PROPERLY TO ENSURE GERMINATION AND UPTAKE OF THE PHOSPHORUS BY THE SEED.

TO ENSURE ADEQUATE GERMINATION OF THE SEED THE WORK WILL BE PERFORMED AS FOLLOWS:  
 SPRING - FROM APRIL 1 THROUGH MAY 15.  
 FALL - FROM AUGUST 15 TO SEPTEMBER 20.  
 AFTER SEEDING IS COMPLETE, WAIT UNTIL OCTOBER 30 TO PERFORM DORMANT SEEDING. DORMANT SEEDING WILL ONLY BE ALLOWED IF THE MAXIMUM SOIL TEMPERATURE AT A DEPTH OF (1 INCH) DOES NOT EXCEED (40 DEGREES F) IN ORDER TO PREVENT GERMINATION.

IN SEEDED AREAS WITH SLOPES STEEPER THAN 4:1 AND LENGTHS LESS THAN (50 FEET), INSTALL BIODEGRADABLE EROSION CONTROL BLANKETS UNIFORMLY OVER THE SOIL SURFACE BY HAND WITHIN 24 HOURS AFTER SEEDING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. USE WISDOT URBAN TYPE B OR OWNER APPROVED EQUAL.

IN AREAS WHERE IRRIGATION IS TO BE INSTALLED, CONTRACTOR SHALL WORK IN ZONES TO FINISH GRADE AND INSTALL THE SYSTEM IN ZONES. NOTE- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SOILS HAVE BEEN STABILIZED WITH SOD OR SEEDED AREAS THAT EXHIBIT MINIMUM OF 70% LAWN VEGETATIVE COVERAGE. IF SILT FENCE HAS TO BE REMOVED TO INSTALL THE IRRIGATION SYSTEM, IT SHALL BE REINSTALLED AT THE END OF EACH WORK DAY OR USE BIG ROLLS TO PROVIDE PROTECTION DURING THE INSTALLATION PROCESS UNTIL LAWN AREAS HAVE SOD AND/OR PLANT BEDS ARE MULCHED.

IN AREAS TO BE SODDED, SILT FENCE CAN BE REMOVED SHORT TERM FOR WORKING, BUT EXPOSED SOIL AREAS SHALL BE SODDED OR EROSION CONTROL MEASURES SHALL BE REINSTALLED AT THE END OF EACH WORK DAY.

NOTE: THE PROJECT'S LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 4680 N. 20th AVENUE  
 WALSH WISCONSIN 53401  
 PHONE: 735.675.9784 FAX: 735.675.1060  
 EMAIL: MAIL@REIENGINEERING.COM

NO SCALE

EROSION CONTROL  
 DETAILS  
 CONVENIENCE STORE #1114  
 STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

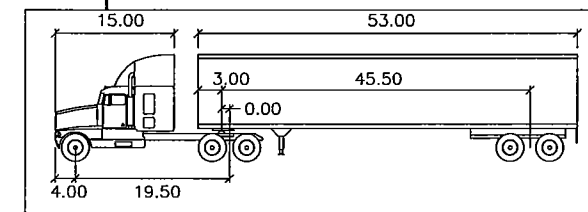
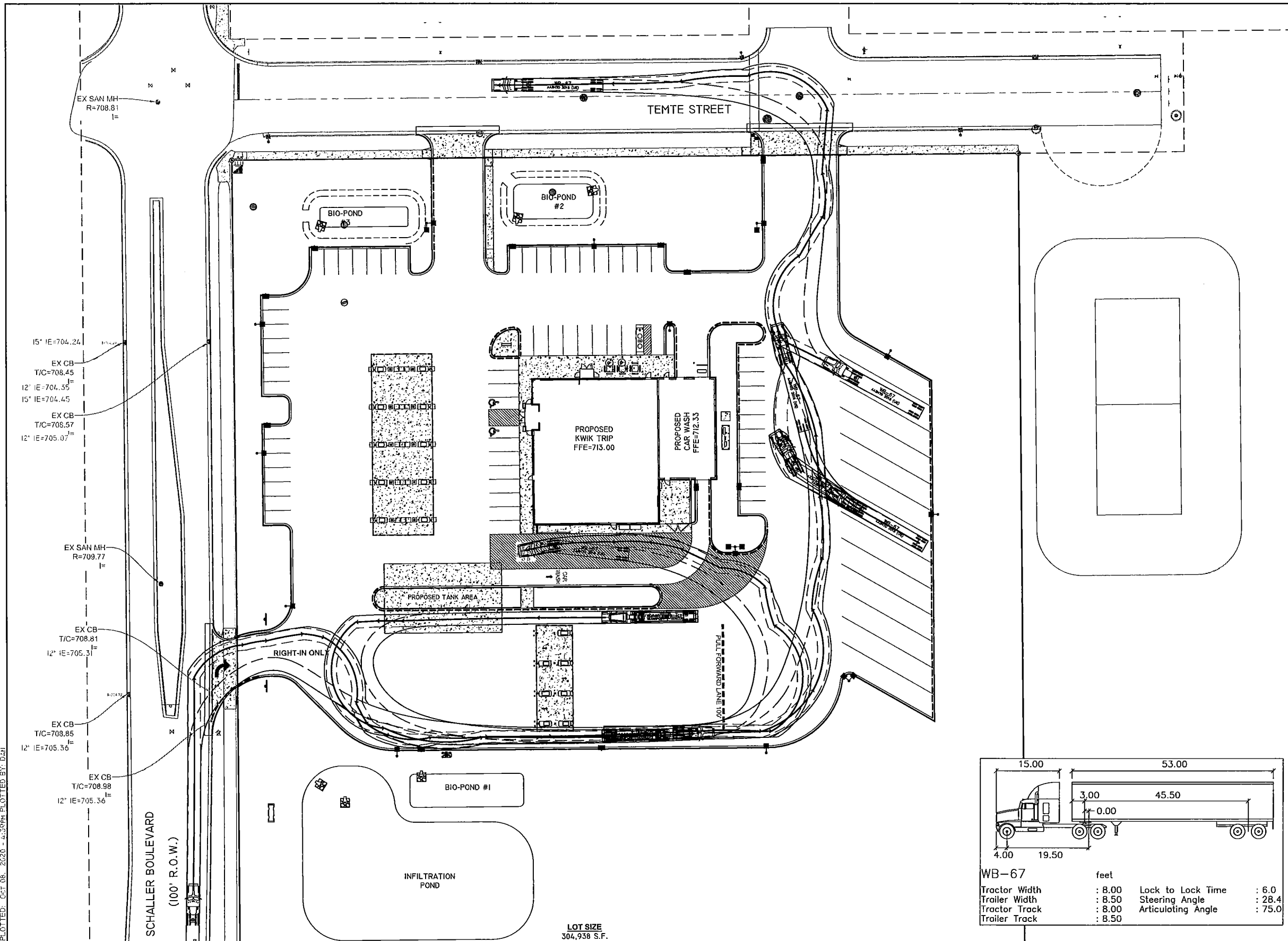
DRAWN BY NAP XXX  
 SCALE GRAPHIC  
 PROJ. NO. 9388  
 DATE 08/14/20 - BID DOCUMENTS  
 SHEET SWP2

DRAWING FILE: P:\9300-0930\9388\_KWIK TRIP ILL. - HOLMEN\DWG\PLANS\9388-SWP-4-EC-Detail.dwg LAYOUT: SWP2  
 PLOTTED: DCT 08, 2020 - 4:38PM PLOTTED BY: DAN





DRAWING FILE: P:\9300-9399\9398 KWIK TRIP 1114 - HOLMEN\DWG\PLANS\9388-SP9-TRUCK CIRCULATION DWG LAYOUT.SP  
 PLOTTED: OCT 08, 2020 - 4:38PM PLOTTED BY: DAI



WB-67		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

**KWIK TRIP**

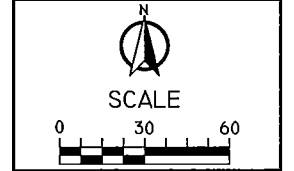
**STORES**

**KWIK STAR**

**STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING  
 REI Engineering, INC.  
 4030 N. 20th AVENUE  
 WAUSAU, WISCONSIN 54981  
 PHONE: 715.678.9784 FAX: 715.675.4000  
 EMAIL: MAIL@REIENGINEERING.COM



**TRUCK CIRCULATION**

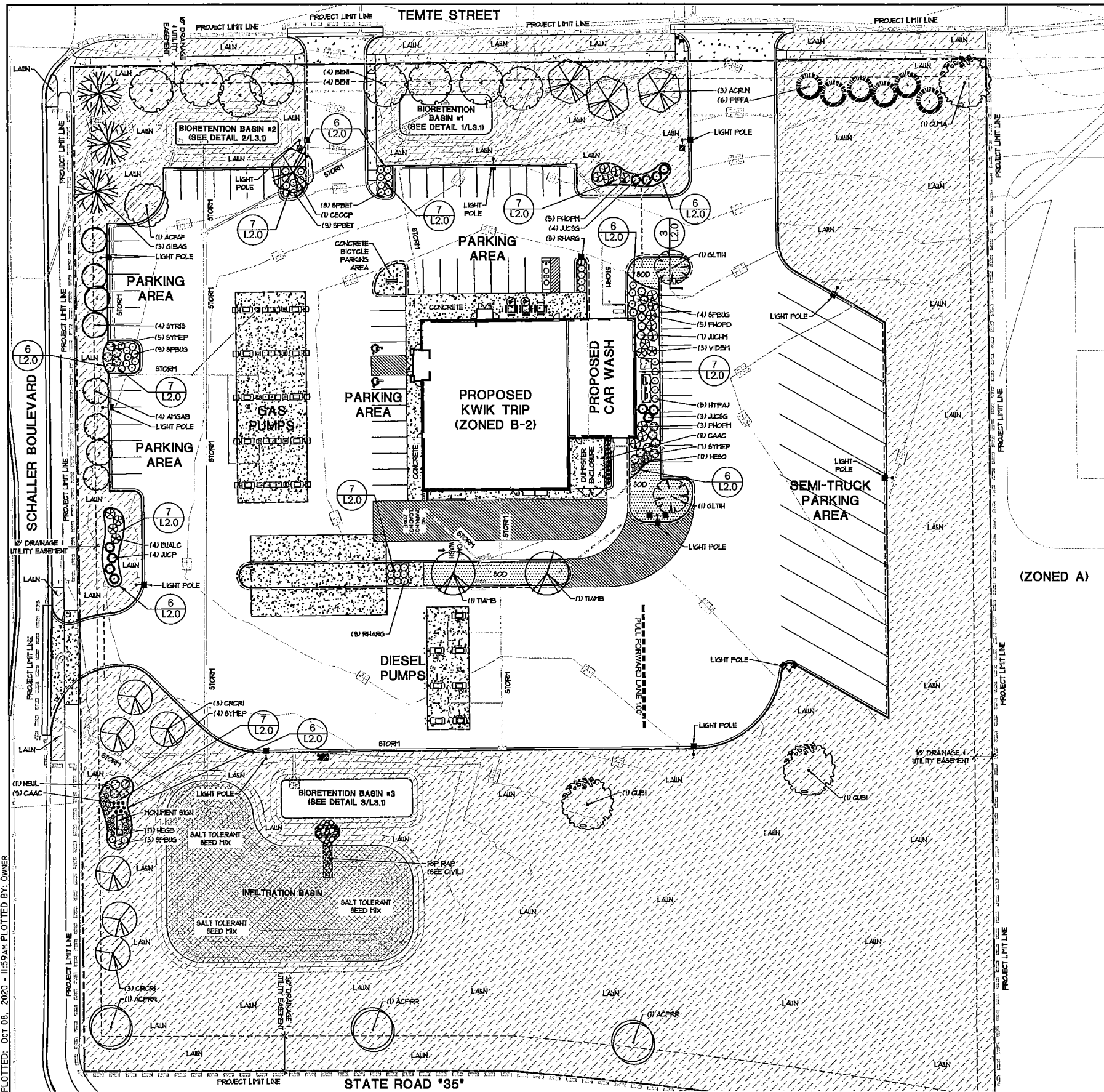
**CONVENIENCE STORE #1114**

**STH 35 - BLUFFVIEW BUSINESS PARK  
 HOLMEN, WI**

#	DATE	DESCRIPTION

DRAWN BY: NAP  
 SCALE: GRAPHIC  
 PROJ. NO.: 9388  
 DATE: 08/14/20 - BID DOCUMENTS  
 SHEET: SP

DRAWING FILE: D:\P\PARAGON\PROJECTS\20-841 Kwik Trip Holmen\ACAD\PARAGON\Kwik Trip Holmen 2020-10-8.dwg LAYOUT: L1.0 XT  
 PLOTTED: OCT 08, 2020 - 11:59AM PLOTTED BY: OWNER



**LANDSCAPE MATERIALS CALCULATIONS**

**DECORATIVE STONE MULCH (PLANTING BEDS)**  
 AREA= 400 SQUARE FEET  
 VOLUME= 31 CUBIC YARDS

**SHREDDED HARDWOOD MULCH (AROUND TREES IN LAWN AREAS AND BIORETENTION BASINS)**  
 AREA= 4,488 SQUARE FEET  
 VOLUME= 47 CUBIC YARDS

**LAWN SOG**  
 AREA= 269 SQUARE YARDS

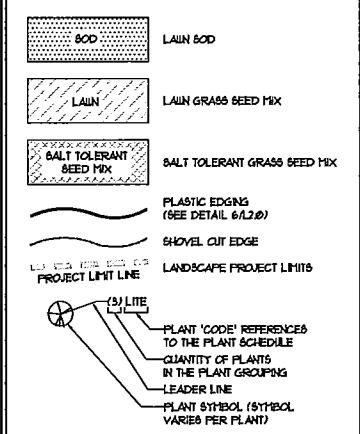
**LAWN SEEDING**  
 AREA= 1192 SQUARE YARDS

**SALT TOLERANT LAWN SEEDING**  
 AREA= 109 SQUARE YARDS

**PLASTIC EDGING (PLANTING BEDS)**  
 LENGTH= 398 LINEAR FEET

**SHOVEL CUT EDGE (BIORETENTION BASINS)**  
 LENGTH= 475 LINEAR FEET

**LANDSCAPE LEGEND & AREAS**



LANDSCAPE DETAILS ON SHEET L2.0.  
 LANDSCAPE NOTES ON SHEET L2.0.  
 PLANT SCHEDULE ON SHEET L2.1.  
 LANDSCAPE CALCS. ON SHEET L2.1.  
 BIORETENTION NOTES ON SHEET L3.1.  
 BIORETENTION DETAILS ON SHEET L3.1.

**LAWN GRASS SEED MIX**

GRASS SEED SHALL CONSIST OF THE FOLLOWING VARIETIES (OR APPROVED EQUAL):

NAME	MIN. %	MAX. %	MIN. % PURE SEED	MAX. % WEED SEED
20% KENTUCKY BLUEGRASS (800 QUALITY)	85%	85%	85%	0.50%
10% MERCURY KENTUCKY BLUEGRASS	85%	85%	85%	0.50%
20% KENBLUE KENTUCKY BLUEGRASS	85%	85%	85%	0.50%
25% CREEPING RED FESCUE	85%	85%	85%	0.50%
5% BUCKED PERENNIAL RYEGRASS	85%	85%	85%	0.50%
10% FIESTA 4 PERENNIAL RYEGRASS	85%	85%	85%	0.50%

SEEDING RATE SHALL BE 45 POUNDS PER 1000 SQUARE FEET  
 SEEDS SHALL BE INSTALLED 1/2" TO 1" BELOW FINISH GRADE.

**SALT TOLERANT GRASS SEED MIX**

GRASS SEED SHALL CONSIST OF THE FOLLOWING VARIETIES (OR APPROVED EQUAL):

NAME	MIN. %	MAX. %	MIN. % PURE SEED	MAX. % WEED SEED
20% GARNET CREEPING RED FESCUE	85%	85%	85%	0.50%
20% SHORELINE ELANDER CREEPING RED FESCUE	85%	85%	85%	0.50%
20% MERCURY KENTUCKY BLUEGRASS	85%	85%	85%	0.50%
5% SPARTAN II OR EUREKA HARD FESCUE	85%	85%	85%	0.50%
10% QUATRO SHEEP FESCUE	85%	85%	85%	0.50%
5% ELITE VARIETY CHEMUNG FESCUE	85%	85%	85%	0.50%

SEEDING RATE SHALL BE 5 POUNDS PER 1000 SQUARE FEET  
 SEEDS SHALL BE INSTALLED 1/2" TO 1" BELOW FINISH GRADE.

**INDEX OF SHEETS**

SHEET	TITLE
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS & LANDSCAPE NOTES
L2.1	PLANT SCHEDULE & LANDSCAPE CALCS.
L3.1	BIORETENTION DETAILS & NOTES

INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ORIGINAL SURVEY AND SITE PLAN DEVELOPED BY REI ENGINEERING, INC. THE LANDSCAPE ARCHITECT MAKES NO WARRANTIES OR REPRESENTATIONS AS TO THE ACCURACY AND COMPLETENESS OF THE SURVEY AND SITE PLAN. ALL INFORMATION SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE

WIS. STATUTE 182.0175(1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE.



**STORES**

**STORES**

KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1628 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**REI**  
 CIVIL & ENVIRONMENTAL  
 ENGINEERING, SURVEYING

REI Engineering, Inc.  
 1080 N. 20th AVENUE  
 WAUSAU, WISCONSIN 54981  
 PHONE: 715.675.9794 FAX: 715.675.0060  
 EMAIL: MAIL@REIENGINEERING.COM

PARAGON DESIGN GROUP, LLC  
 2776 North Skyles Avenue  
 Milwaukee, WI 53210  
 Tel: 414.449.1555  
 Fax: 414.449.2425  
 www.paragonwi.com

LANDSCAPE PLAN

CONVENIENCE STORE #1114

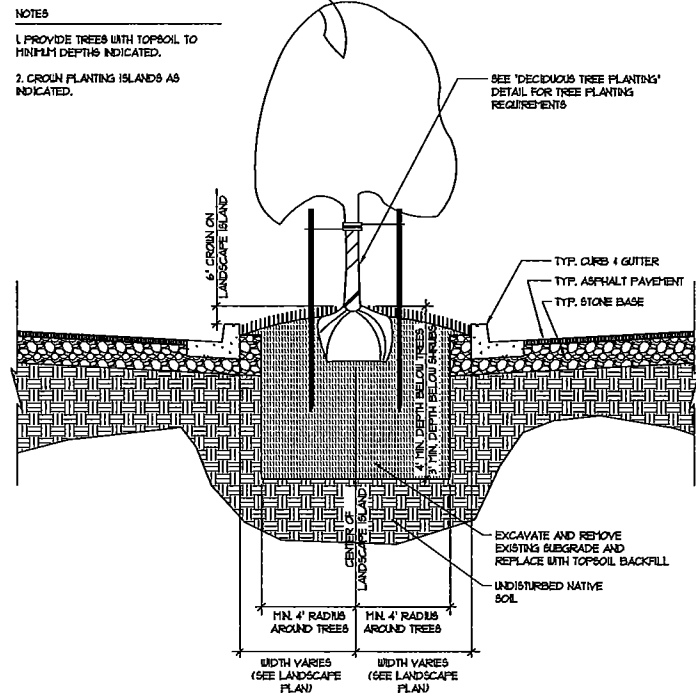
SITE LOCATION  
 HOLMEN, WI

#	DATE	DESCRIPTION

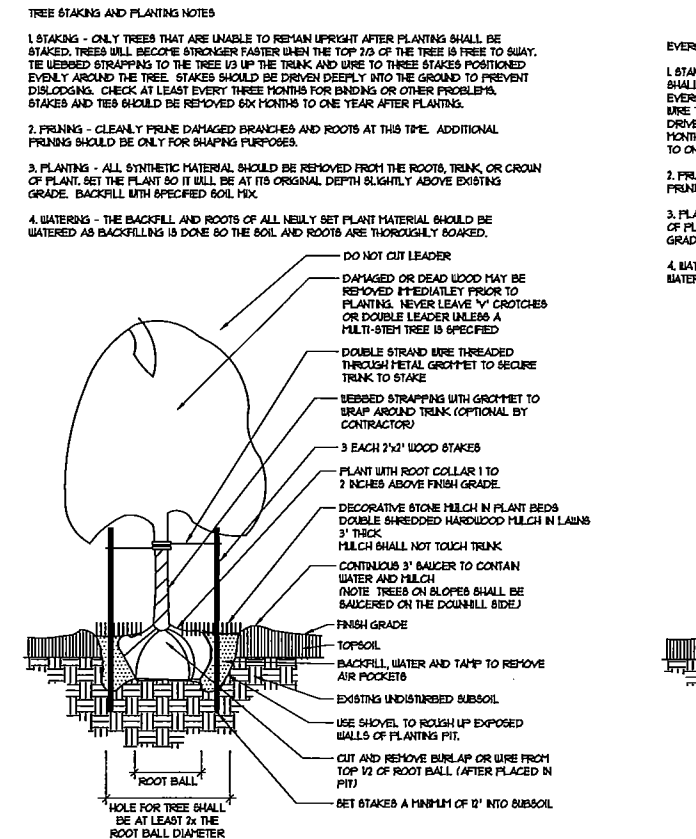
DRAWN BY: BJB  
 SCALE: SEE SCALE BAR  
 PROJ. NO.: 9388  
 DATE: 10-09-2020 - REVIEW DOCUMENTS  
 SHEET: **L1.0**

**LANDSCAPE NOTES:**

- LOCATE ALL PRIVATE AND PUBLIC UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY DESIGN/CLEARING OPERATIONS. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY ARCHITECT, LANDSCAPE ARCHITECT, ENGINEER AND OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIALS.
- KEEP DRIVEWAYS, PARKING LOTS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE AT ALL TIMES UNLESS AREAS ARE INDICATED FOR STORAGE AND STAGING. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE.
- (IF APPLICABLE) CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO REMAIN AND CLEARLY TAG THEM WITH MARKING TAPE AND 4" TALL ORANGE CONSTRUCTION FENCE TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS AND QUANTITIES OF MATERIALS SHALL BE FIELD VERIFIED WITH SITE CONDITIONS.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLAN AND/OR CIVIL DRAWINGS, (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION FOR COORDINATION AND RESOLUTION.
- THE PLANT SCHEDULE IS ON SHEET L2.1. PLANT QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. PLANT QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES BETWEEN THE SCHEDULE LABELS AND THE PLAN OCCUR, THE QUANTITY DRAIN ON THE PLAN SHALL BE THE OFFICIAL QUANTITY.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- REMOVE ALL EXISTING TREES, SHRUBS, PLANTS, SOIL, MULCH, WEED BARRIER, DEBRIS, ETC. TO PERMIT THE INSTALLATION OF NEW PLANT MATERIAL. REMOVE ALL GRAVEL TO WHATEVER DEPTHS ENCOUNTERED IN AREAS THAT ARE BEING CONVERTED TO LANDSCAPE ISLANDS OR LAWN AREAS. REPLACE GRAVEL WITH TOPSOIL. DO NOT PLANT OR SEED LAWN OVER GRAVEL BASE.
- EXISTING TOPSOIL SHALL BE STRIPPED AND STOCKPILED TO BE RE-SPREAD BY OTHERS AFTER GRADING WORK IS COMPLETED. PROVIDE ADDITIONAL TOPSOIL IF QUANTITY OR QUALITY OF STRIPPED TOPSOIL IS INSUFFICIENT. TOPSOIL SHALL HAVE A 4" MIN RANGE OF 6.0-7.5 BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT WITH A LIBERAL AMOUNT OF HUMUS, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION, WEED SEEDS, ROOTS AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SUITABLE FOR THE GROWTH OF GRASS AND PLANTS.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS OR TREE PITS ARE TO RECEIVE RE-SPREAD TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES AND SHALL BE SEEDDED WITH SPECIFIED LAWN GRASS OR APPROVED EQUAL. LANDSCAPE CONTRACTOR SHALL INCLUDE COST FOR ADDITIONAL SEED OPERATIONS TO RE-ESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN PER THE CIVIL PLANS. NO PONDING STORM WATER IS PERMITTED OUTSIDE OF THE STORM WATER MANAGEMENT POND(S), BIORETENTION BASIN(S), AND INFILTRATION BASIN(S). PONDING AREAS SHALL BE REPAIRED TO BE FREE DRAINING.
- FINISH GRADES OF LAWN AREAS SHALL BE 1/2 INCH BELOW THE TOP OF ADJACENT PAVEMENTS AND CURBS UNLESS OTHERWISE NOTED ON THE PLANS.
- PLANTING SOIL FOR PLANTING BEDS TO BE BLENDED CONSISTING OF A RATIO OF 3 PARTS TOPSOIL TO 1 PART COMPOST. TOPSOIL TO HAVE A PH RANGE OF 6.0-7.5, BETWEEN 3 AND 8 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH. COMPOST TO BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 6, MOISTURE CONTENT OF 5 TO 10 DECIBELSH, NOT EXCEEDING 85 PERCENT INERT CONTAMINANTS, FREE OF SUBSTANCES TOXIC TO PLANTS AND ORGANIC CONTENT OF BETWEEN 50 TO 60 PERCENT DRY WEIGHT. PLANTING SOIL TO BE INSTALLED 6 INCHES DEEP. TILL PLANTING BEDS TO A MINIMUM DEPTH OF 8 INCHES PRIOR TO PLANTING.
- TREES AND SHRUBS SHALL BE INSTALLED PER THE PLANTING DETAILS. SEE PLANTING DETAILS ON SHEET L2.9 FOR PLANT INSTALLATION REQUIREMENTS.
- ALL AREAS INDICATED AS 'SOIL' SHALL BE SOODED AS SPECIFIED. ALL AREAS INDICATED AS 'LAWN' SHALL BE SEEDDED WITH THE SPECIFIED SEED MIX AND COVERED WITH STRAW EROSION MAT. ALL AREAS DISTURBED DURING CONSTRUCTION INCLUDING TRENCHING DISTURBED AREAS SHALL BE SOODED OR LAWN SEEDDED. SEE CIVIL PLANS FOR APPROXIMATE LIMITS OF GRADING AND TRENCHING WORK.
- LAWN INSTALLATION: CONTRACTOR SHALL TILL THE TOPSOIL, AND REMOVE ALL STONE 1 INCH DIAMETER AND LARGER TO PREPARE THE TOPSOIL FOR SEEDING. APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE STRAW EROSION MAT FOR ALL SEEDDED AREAS AS SPECIFIED ON THE EROSION CONTROL PLAN AND INSTALL PER MANUFACTURER'S WRITTEN REQUIREMENTS. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH UNIFORM QUALITY TURF FREE FROM ANY BARE AREAS IN EXCESS OF 5 INCHES BY 5 INCHES. POORLY SEEDDED AREAS SHALL BE RE-SEEDDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SEED AND STRAW EROSION BLANKET THE LANDSCAPE AREA BETWEEN THE PROPERTY LINE AND STREET PAVEMENT EDGE WITHIN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT SITE IF DISTURBED AREA EXTENDS BEYOND THE PROPERTY LINE OR IF THE EXISTING VEGETATION WITHIN THE RIGHT-OF-WAY IS NOT LAWN. SEED SHALL MATCH THE PROPOSED SEED USED ON THE PROJECT SITE IN ORDER TO BLEND THE TWO AREAS SEAMLESSLY TOGETHER. INSTALL IN ACCORDANCE WITH MUNICIPAL REGULATIONS OF AUTHORIZED JURISDICTION OR ACCORDING TO THE LANDSCAPE SPECIFICATIONS IF THERE ARE NO MUNICIPAL REQUIREMENTS.
- WATER SEEDDED AREAS IMMEDIATELY AFTER SEEDING AND STRAW EROSION MAT INSTALLATION COMPLETION. MAINTAIN A 1-INCH PER WEEK NATURAL OR AUGMENTED WATERING REGIME FOR ALL PLANTING AND LAWN AREAS. PROVIDE AUTOMATIC LAWN OR TREE SHRUB PERENNIAL WATERING DEVICES DURING INITIAL TREE/SHRUB/PERENNIAL ESTABLISHMENT.
- THE LANDSCAPE SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND FOR 30 DAYS FOLLOWING SUBSTANTIAL COMPLETION DATE WHICH WILL BE DEFINED BY THE ARCHITECT/ENGINEER. NEW LAWNS AND PLANTINGS SHALL BE WATERED, DAMAGE REPAIRED AND WEEDS SHALL BE REMOVED FROM THE TIME OF SEEDING/PLANTING AND CONTINUED THROUGH THE END OF THE 30 DAY MAINTENANCE PERIOD, NO EXCEPTIONS WILL BE GRANTED UNLESS APPROVED BY THE OWNER.
- ALL PLANTING BEDS NOT ADJACENT TO ASPHALT, CONCRETE OR CURBS SHALL HAVE A PLASTIC BED EDGE AS INDICATED ON THE PLAN. ALL PLANTING BEDS SHALL BE TOPDRESSED WITH 3/4" DIAMETER TO 1-1/2" DIAMETER HISSASIPPI RIVER ROCK (OR OWNER APPROVED EQUAL) TO A DEPTH OF 3 INCHES ON WEED BARRIER.
- THE CONTRACTOR SHALL PROVIDE A 1-YEAR WARRANTY ON THE ENTIRE LANDSCAPE INSTALLATION STARTING FROM THE DATE OF SUBSTANTIAL COMPLETION.
- LIGHT POLES AND UNDERGROUND UTILITIES INDICATED ON THIS PLAN ARE SHOWN FOR CONVENIENCE ONLY. SEE SITE LIGHTING PLAN FOR OFFICIAL LIGHT POLE LOCATIONS AND SURVEY/CIVIL PLANS FOR OFFICIAL UNDERGROUND UTILITY LOCATIONS. ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY TO AVOID LIGHT POLES AND UNDERGROUND UTILITIES.
- CONFINE OPERATIONS TO AREAS WITHIN THE PROJECT LIMIT LINE INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.
- CONTRACTOR SHALL LEAVE THE SITE FREE OF ALL CONSTRUCTION DEBRIS AND WASTE.

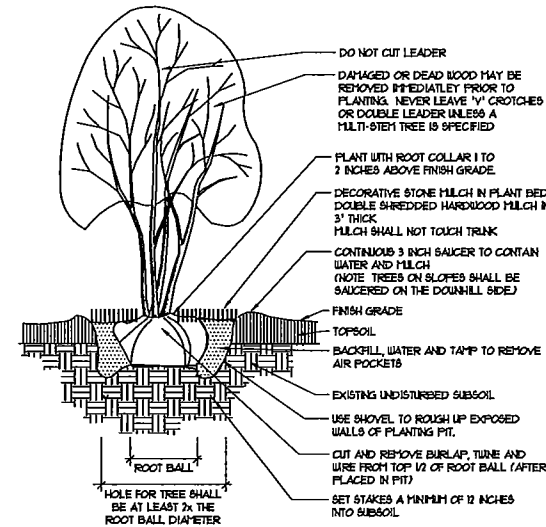


**3 PARKING LOT LANDSCAPE ISLAND DETAIL**  
SCALE: NOT TO SCALE



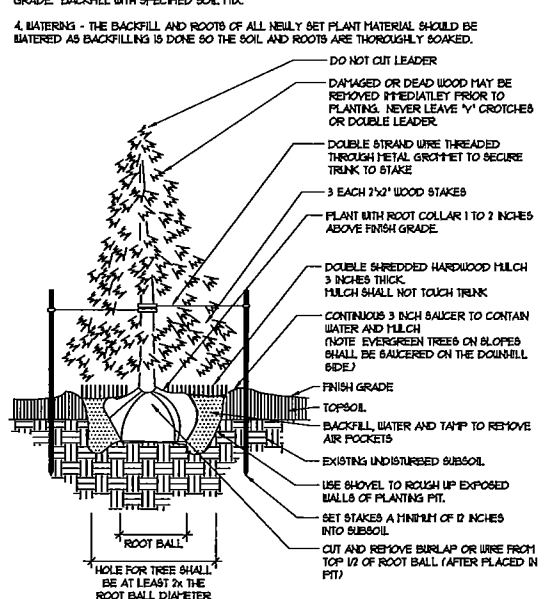
**1 DECIDUOUS TREE PLANTING**  
SCALE: NOT TO SCALE

- MULTI-STEM TREE STAKING AND PLANTING NOTES**
- STAKING - MULTI-STEM TREES SHALL NOT BE STAKED. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY.
  - PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
  - PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
  - WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.

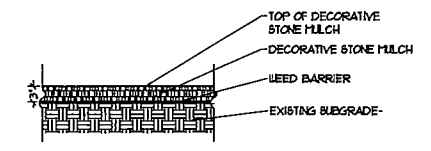


**4 MULTI-STEM TREE PLANTING**  
SCALE: NOT TO SCALE

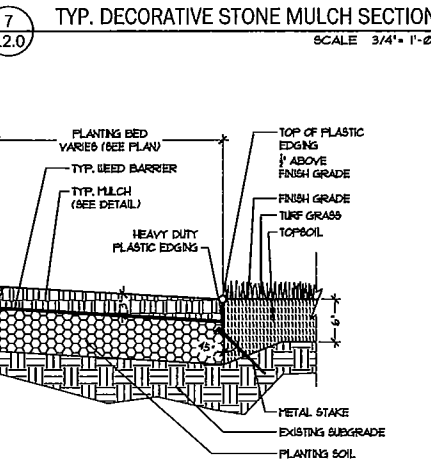
- EVERGREEN TREE STAKING AND PLANTING NOTES**
- STAKING - ONLY EVERGREEN TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING SHALL BE STAKED. EVERGREEN TREES WILL BECOME STRONGER FASTER WHEN THE TOP 1/3 OF THE EVERGREEN TREE IS FREE TO SWAY. THE WEEDED STRAPPING TO THE TREE 1/3 UP THE TRUNK AND WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
  - PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
  - PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
  - WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.



**2 EVERGREEN TREE PLANTING**  
SCALE: NOT TO SCALE

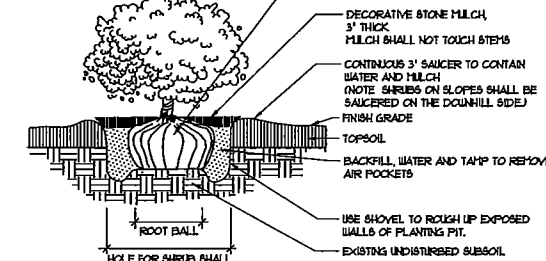


**7 TYP. DECORATIVE STONE MULCH SECTION**  
SCALE: 3/4" = 1'-0"



**6 TYPICAL PLASTIC EDGE SECTION**  
SCALE: 1" = 1'-0"

- SHRUB PLANTING NOTES**
- PRUNING - CLEARLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
  - PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK, OR CROWN OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
  - WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.



**5 SHRUB PLANTING DETAIL**  
SCALE: NOT TO SCALE

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8980

CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING

REI Engineering, INC.  
4080 N. 20th AVENUE  
WISCONSIN 53401  
PHONE: 763.675.9784 FAX: 763.675.6050  
EMAIL: MAIL@REIENGINEERING.COM

PARAGON DESIGN GROUP, LLC  
2776 North Skyles Avenue  
Milwaukee, WI 53210  
Tel: 414.449.1555  
Fax: 414.449.2425  
www.paragondg.com

LANDSCAPE DETAILS & LANDSCAPE NOTES

CONVENIENCE STORE #1114

SITE LOCATION  
HOLMEN, WI

NOT FOR CONSTRUCTION

#	DATE	DESCRIPTION

DRAWN BY: BJB  
SCALE: SEE SCALE BAR  
PROJ. NO.: 9388  
DATE: 10-09-2020 - REVIEW DOCUMENTS  
SHEET: L2.0

DRAWING FILE: D:\PARAGON\PROJECTS\20-641 Kwik Trip Holmen\CAD\PARAGON\Kwik Trip Holmen L2.0.DWG LAYOUT: L2.0.KT  
PLOTTED: OCT 09, 2020 - 11:52AM PLOTTED BY: OWNER



# KWIK TRIP

STORES

# KWIK STAR

STORES

### PLANT SCHEDULE

CANOPY TREES (INSTALL SINGLE-STEM TREES IN ACCORDANCE WITH DETAIL 1/L2.0, MULTI-STEM TREES IN ACCORDANCE WITH DETAIL 4/L2.0 AND TREES IN PARKING LOT ISLANDS IN ACCORDANCE WITH DETAIL 3/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
ACFAF	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	1	15' Cal B4B	H-50', W-30'	30 POINTS	-----	30 POINTS	-----	-----	N/A
ACPRR	Acer platanoides 'Royal Red'	Royal Red Maple	3	15' Cal B4B	H-35', W-25'	30 POINTS	-----	-----	90 POINTS	-----	N/A
ACRIN	Acer nigrum 'Northwood'	Northwood Maple	3	15' Cal B4B	H-55', W-35'	30 POINTS	-----	-----	90 POINTS	-----	N/A
CEOCP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	1	15' Cal B4B	H-50', W-45'	30 POINTS	-----	30 POINTS	-----	-----	N/A
GIBAG	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo (male)	3	2' Cal B4B	H-50', W-30'	15 POINTS	-----	-----	225 POINTS	-----	N/A
GLTHH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2	15' Cal B4B	H-50', W-35'	30 POINTS	-----	60 POINTS	-----	-----	N/A
QUBI	Quercus bicolor	Sweet White Oak	2	2' Cal B4B	H-60', W-60'	15 POINTS	-----	-----	-----	150 POINTS	N/A
QUIMA	Quercus macrocarpa	Bur Oak	1	2' Cal B4B	H-75', W-75'	15 POINTS	-----	-----	15 POINTS	-----	N/A
TIAMB	Tilia americana 'Boulevard'	Boulevard American Linden	2	15' Cal B4B	H-50', W-25'	30 POINTS	-----	60 POINTS	-----	-----	N/A

ORNAMENTAL TREES (INSTALL SINGLE-STEM TREES IN ACCORDANCE WITH DETAIL 1/L2.0, MULTI-STEM TREES IN ACCORDANCE WITH DETAIL 4/L2.0 AND TREES IN PARKING LOT ISLANDS IN ACCORDANCE WITH DETAIL 3/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
AMGAB	Anelachne x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	4' B4B, multi-stem	H-20', W-15'	10 POINTS	-----	-----	40 POINTS	-----	N/A
BENI	Betula nigra	River Birch	8	6' B4B, multi-stem	H-45', W-35'	15 POINTS	-----	-----	120 POINTS	-----	N/A
CRCRI	Crataegus crus-galli nensis	Thornless Cockspur Hawthorn	6	1' Cal. B4B	H-25', W-25'	10 POINTS	-----	-----	60 POINTS	-----	N/A
BYRIB	Bryonia reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	4	1' Cal. B4B	H-25', W-15'	10 POINTS	-----	-----	40 POINTS	-----	N/A

EVERGREEN TREES (INSTALL IN ACCORDANCE WITH DETAIL 2/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
PIFFA	Picea pungens 'Fat Albert'	Fat Albert Spruce	6	5' Tall B4B	H-20', W-15'	40 POINTS	-----	-----	240 POINTS	-----	N/A

EVERGREENS / BROADLEAF EVERGREEN SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 5/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
JUCH1	Juniperus chinensis 'Mountbatten'	Mountbatten Chinese Juniper	7	3' Tall B4B	H-12', W-9'	12 POINTS	84 POINTS	-----	-----	-----	N/A
JICP	Juniperus chinensis 'Pfitzeriana'	Pfitzer Juniper	4	18' Spread Pot	H-6', W-8'	5 POINTS	-----	20 POINTS	-----	-----	N/A
JUCSG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	7	18' Spread Pot	H-4', W-6'	5 POINTS	15 POINTS	20 POINTS	-----	-----	N/A

DECIDUOUS SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 5/L2.0)

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	MATURE SIZE	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
EUALC	Euonymus alatus 'Compactus'	Dwarf Burning Bush	4	24" Tall B4B	H-5', W-7'	3 POINTS	-----	12 POINTS	-----	-----	N/A
HYPAL	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	5	18" Tall Pot	H-4', W-4'	1 POINT	5 POINTS	-----	-----	-----	N/A
PHOPD	Physocarpus opulifolius 'Dart's Golden'	Dart's Golden Ninebark	5	36" Tall B4B	H-6', W-7'	5 POINTS	-----	-----	-----	-----	N/A
PHOPH	Physocarpus opulifolius 'Monlo'	Purple Leaf Ninebark	8	36" Tall B4B	H-7', W-8'	5 POINTS	-----	25 POINTS	-----	-----	N/A
RHARG	Rhus aromatica 'Gro-low'	Gro Low Sumac	14	18" Spread Pot	H-2', W-3'	1 POINT	-----	14 POINTS	-----	-----	N/A
SPBET	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	11	18" Tall Pot	H-3', W-3'	1 POINT	-----	11 POINTS	-----	-----	N/A
SPBUG	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	16	18" Tall Pot	H-3', W-4'	1 POINT	-----	4 POINTS	-----	3 POINTS	N/A
SYTEP	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	16	24" Tall B4B	H-5', W-7'	3 POINTS	21 POINTS	15 POINTS	-----	12 POINTS	N/A
VIDBM	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	3	36" Tall B4B	H-6', W-6'	5 POINTS	15 POINTS	-----	-----	-----	N/A

PERENNIALS / VINES / ORNAMENTAL GRASSES

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	SPACING	POINTS/PLANT	FOUNDATION PNTS	PAVED AREA PNTS	STREET FRONTAGES	YARD AREAS PNTS	BUFFERYARD
CAAC	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	36	1" Pot	30" OC	0 POINTS	-----	-----	-----	-----	N/A
HEGB	Hemerocallis 'Going Bananas'	Going Bananas Daylily	14	1" Pot	24" OC	0 POINTS	-----	-----	-----	-----	N/A
HESO	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	8	1" Pot	24" OC	0 POINTS	-----	-----	-----	-----	N/A
NEUL	Nepeta x 'Walker's Low'	Walker's Low Catmint	16	1" Pot	30" OC	0 POINTS	-----	-----	-----	-----	N/A

TOTALS	184 POINTS	312 POINTS	580 POINTS	165 POINTS	N/A
--------	------------	------------	------------	------------	-----

### LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
<b>HOLMEN LANDSCAPE REQUIREMENTS</b>		
SITE ZONING = B2		
ZONING OF PROPERTY TO THE NORTH, WEST AND SOUTH OF THE PROJECT SITE = B2		
ZONING OF PROPERTY TO THE NORTH AND EAST OF THE PROJECT SITE = A		
BUILDING FOUNDATION PERIMETER LENGTH = 458 LINEAR FEET		
TENTH STREET FRONTAGE = 522 LINEAR FEET		
SCHALLER BOULEVARD STREET FRONTAGE = 514 LINEAR FEET		
STATE ROAD 35 STREET FRONTAGE = 525 LINEAR FEET		
CAR AND SEMI-TRUCK PARKING STALLS = 78 STALLS		
BUILDING GROSS FLOOR AREAS = 10,318 SQUARE FEET		
LANDSCAPE FOR BUILDING FOUNDATIONS		
40 POINTS FOR EACH 100 LINEAR FEET OF BUILDING FOUNDATION		
(458 LF OF BUILDING FOUNDATION/100) x 40 = 183.2 POINTS	184 POINTS	184 POINTS
LANDSCAPE FOR PAVED AREAS		
80 POINTS PER 200 PARKING STALLS		
(78 STALLS/200 STALLS) x 80 = 31.2 POINTS	312 POINTS	312 POINTS
MINIMUM 30% OF ALL POINTS SHALL BE MEDIUM OR TALL TREES		
312 POINTS x 0.30 = 93.6 POINTS	94 POINTS	180 POINTS
MINIMUM 40% OF ALL POINTS SHALL BE SHRUBS		
312 POINTS x 0.40 = 124.8 POINTS	125 POINTS	132 POINTS
LANDSCAPE FOR STREET FRONTAGES - TENTH STREET		
60 POINTS PER 100 LINEAR FEET OF STREET FRONTAGE		
(522 LF OF FRONTAGE/100) x 60 = 313.2 POINTS	314 POINTS	
LANDSCAPE FOR STREET FRONTAGES - SCHALLER BOULEVARD		
60 POINTS PER 100 LINEAR FEET OF STREET FRONTAGE		
(514 LF OF FRONTAGE/100) x 60 = 344.4 POINTS	345 POINTS	
LANDSCAPE FOR STREET FRONTAGES - STATE ROAD 35		
60 POINTS PER 100 LINEAR FEET OF STREET FRONTAGE		
(525 LF OF FRONTAGE/100) x 60 = 315 POINTS	315 POINTS	
TOTAL LANDSCAPE FOR ALL STREET FRONTAGES	914 POINTS	580 POINTS
MINIMUM 50% OF ALL POINTS SHALL BE DECORATIVE OR MEDIUM TREES		
914 POINTS x 0.50 = 457 POINTS	461 POINTS	500 POINTS
LANDSCAPE FOR YARD AREAS		
15 POINTS PER 1000 SQUARE FEET OF GROSS FLOOR AREA		
(10,318 SF / 1000 SF) x 15 = 154.77 POINTS	164 POINTS	165 POINTS
BUFFERYARD LANDSCAPE		
ADJACENT PROPERTY TO THE NORTH, WEST AND SOUTH ZONED B2		
B2 ZONING ADJACENT TO B2 ZONING = NO BUFFERYARD REQUIRED	N/A	N/A
ADJACENT PROPERTY TO THE EAST ZONED 'A'		
B2 ZONING ADJACENT TO 'A' ZONING = NO BUFFERYARD REQUIRED	N/A	N/A

DRAWING FILE: D:\Paragon\Projects\20-841 Kwik Trip Holmen\ACAD\PARAGON\Kwik Trip Holmen 2020-10-8.dwg LAYOUT: L2.1.KT  
PLOTTED: OCT 08, 2020 - 11:50AM PLOTTED BY: OWNER

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**REI**  
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING  
REI Engineering, INC.  
1080 N. 20TH AVENUE  
WISCONSIN 54601  
PHONE: 715.615.9794 FAX: 715.615.1050  
EMAIL: MAIL@REIENGINEERING.COM

**PARAGON**  
DESIGN GROUP, LLC  
2776 North Sholes Avenue  
Madison, WI 53710  
Tel: 414.449.1555  
Fax: 414.449.2425  
www.paragongroup.com

PLANT SCHEDULE & LANDSCAPE  
CALCS.  
CONVENIENCE STORE #1114  
SITE LOCATION  
HOLMEN, WI

# DATE DESCRIPTION

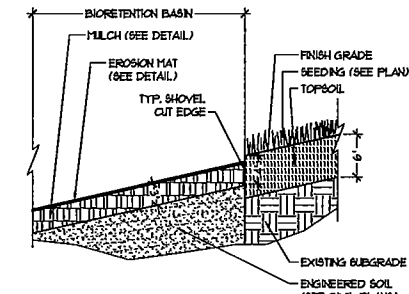
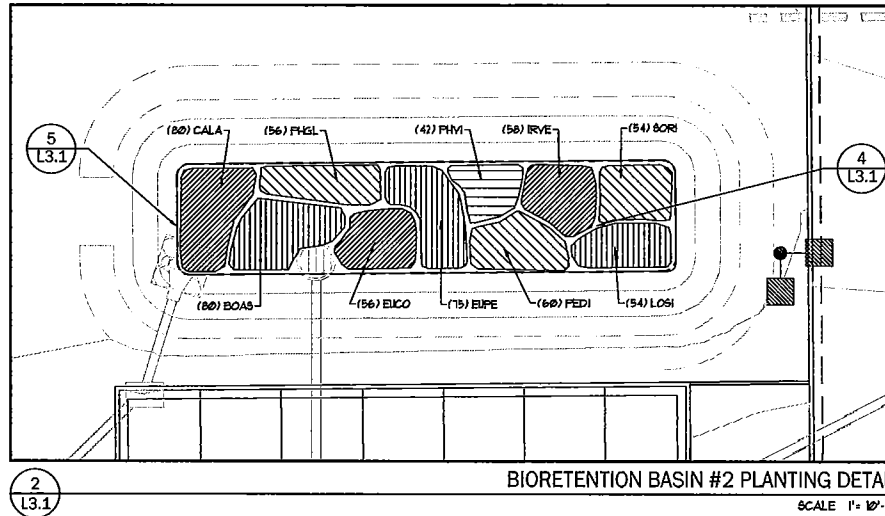
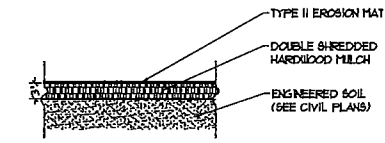
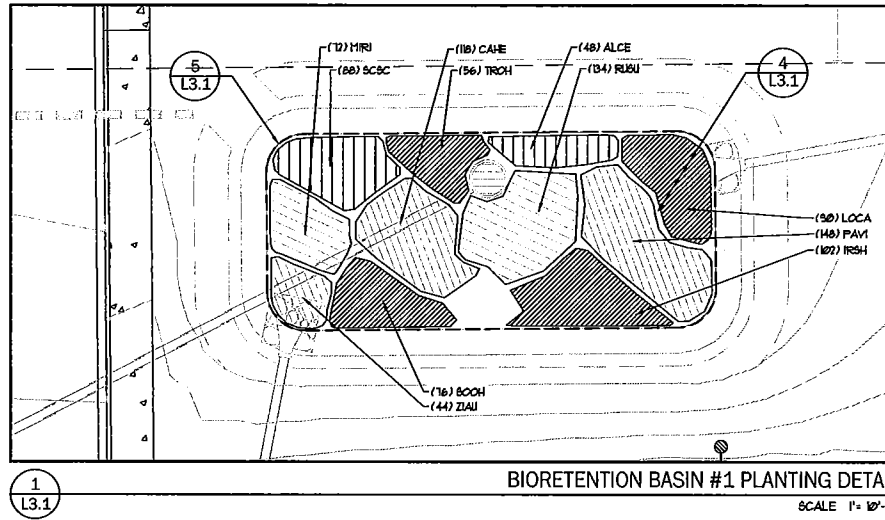
DRAWN BY: BJB  
SCALE: SEE SCALE BAR  
PROJ. NO.: 8388  
DATE: 10-09-2020 - REVIEW DOCUMENTS  
SHEET: L2.1



## BIORETENTION BASIN PLANTING

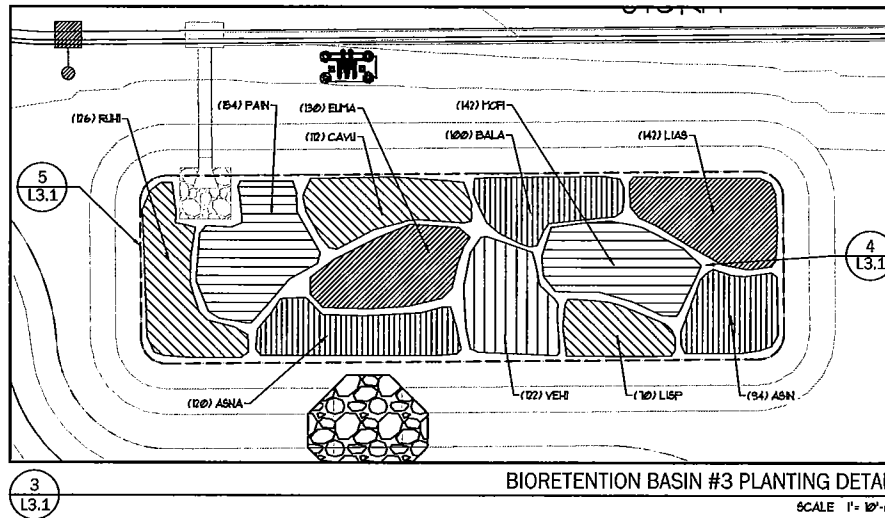
FOLLOW THIS PROCESS TO PREPARE AND PLANT BIORETENTION BASIN:

- IT IS RECOMMENDED THAT THE BIORETENTION BASIN BE BUILT IN THE SPRING BECAUSE THE PLANTS WILL BE MORE LIKELY TO THRIVE. HOWEVER IT IS ACCEPTABLE FOR THE BIORETENTION BASIN TO BE BUILT FROM APRIL 5 - SEPTEMBER 15 AS LONG AS THE PLANTS ARE WATERED.
- LAYOUT THE BIORETENTION BASIN IN THE SHAPE INDICATED ON THE LANDSCAPE PLAN.
- EXCAVATE THE BIORETENTION BASIN TO THE ELEVATIONS INDICATED BY THE CIVIL PLANS. ALLOW FOR THE DEPTH OF THE ENGINEERED SOIL MIX AND SHREDDED HARDWOOD MULCH. THE SIDES OF THE BASIN SHALL HAVE A MAXIMUM SLOPE OF 2 TO 1 AND COVERED WITH MULCH OR PLANTED AS SPECIFIED TO PREVENT EROSION.
- AFTER EXCAVATION IS COMPLETE, DEEP TILL THE EXISTING SUBGRADE UNDER THE BIORETENTION BASIN TO THE DEPTHS INDICATED IN THE BIORETENTION BASIN SECTIONS. DEEP TILLING IS NECESSARY TO REDUCE COMPACTION CREATED BY CONSTRUCTION EQUIPMENT, THEREBY IMPROVING INFILTRATION CHARACTERISTICS. AFTER DEEP TILLING, CHECK THE INFILTRATION RATES BY DIGGING TEST HOLES A MINIMUM OF 12 INCHES DEEP AND FILL THE HOLE COMPLETELY WITH WATER. IF THE WATER TAKES MORE THAN 24 HOURS TO SOAK IN, NOTIFY THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS MAY NEED TO BE ADDED TO THE SUBGRADE TO IMPROVE INFILTRATION CHARACTERISTICS. COMPLETE ONE TEST HOLE PER 300 SQUARE FEET OF BIORETENTION BASIN AREA, BUT NO LESS THAN ONE TEST HOLE PER BIORETENTION BASIN.
- FILL THE BIORETENTION BASIN WITH THE SPECIFIED SAND AND ENGINEERED SOIL MIX TO DEPTHS INDICATED IN THE BIORETENTION BASIN DETAIL. IN THE CIVIL DRAWINGS, USE CARE TO NOT EXCESSIVELY COMPACT THE ENGINEERED SOIL MIX. THE FINISH GRADE BOTTOM OF THE BIORETENTION BASIN SHALL BE LEVEL IN ALL DIRECTIONS. COORDINATE WITH THE CONTRACTOR RESPONSIBLE FOR THE STORM INLET, STANDPIPE, CLEANOUT OR UNDERDRAIN INSTALLATION IF PROPOSED.
- PLANTING - BIORETENTION BASIN PLANTS SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM. USUALLY ONE OR TWO-YEAR-OLD PLANTS WILL HAVE ROOT SYSTEMS THAT ARE BEGINNING TO CIRCLE OR GET MATTED. (NOTE USE ONLY NURSERY-PROPAGATED PLANTS, DO NOT COLLECT PLANTS FROM THE WILD.)
  - APPLY DOUBLE SHREDDED MULCH, AGED A MINIMUM OF 6 MONTHS, EVENLY OVER THE BED APPROXIMATELY THREE INCHES THICK PRIOR TO PLANTING VEGETATION TO HELP PREVENT COMPACTION OF THE PLANTING SOIL DURING THE PLANTING PROCESS. APPLY CLASS II EROSION MAT OVER THE MULCH TO PREVENT THE MULCH FROM FLOATING UNTIL THE DENSE VEGETATION IS ESTABLISHED. OVERLAP PIECES OF EROSION MAT A MINIMUM OF 6 INCHES AND FASTEN THE EROSION MAT TO THE SOIL WITH 8X4-INCH LONG HARDWOOD STAKES.
  - LAY OUT THE PLANTS AS INDICATED ON THE LANDSCAPE PLAN, SPACE AS INDICATED IN THE PLANT SCHEDULE IN A GRID PATTERN, KEEPING THEM IN CONTAINERS UNTIL THEY ARE ACTUALLY PLANTED TO PREVENT DRYING OUT BEFORE THEY GET IN THE GROUND.
  - CUT A HOLE IN THE EROSION MAT JUST LARGE ENOUGH TO INSTALL THE PLANT, TEMPORARILY MOVE THE MULCH TO THE SIDE, DIG EACH HOLE TWICE AS WIDE AS THE PLANT PLUG AND DEEP ENOUGH TO KEEP THE CROWN OF THE PLANT LEVEL WITH THE EXISTING GRADE (JUST AS IT WAS GROWING IN THE CELL, PACK OR CONTAINER). THEN INSTALL THE PLANT, BACKFILL AND RETURN MULCH AROUND THE INSTALLED PLANT. MAKE SURE THE CROWN IS LEVEL AND THEN FILL THE HOLE AND FIRMLY TAMP AROUND THE ROOTS TO AVOID AIR POCKETS.
  - STICK PLANT LABELS NEXT TO EACH INDIVIDUAL GROUPING. THIS WILL HELP IDENTIFY THE YOUNG NATIVE PLANTS FROM NON-DEBRABLE SPECIES (NEEDS) AS YOU LEAVE THE BASIN.
  - WATER IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER TWICE A WEEK (UNLESS NATURAL RAIN PRODUCES 1 INCH PER WEEK) UNTIL THE PLUGS ARE ESTABLISHED.
- MAINTAINING THE BIORETENTION BASIN - INITIAL MAINTENANCE SHALL BE COMPLETED BY THE CONTRACTOR FOR 60 DAYS FOLLOWING SUBSTANTIAL COMPLETION.
  - WEEDING WILL BE NEEDED THE FIRST COUPLE OF YEARS. REMOVE BY HAND ONLY THOSE PLANTS THAT ARE WEEDS. REMOVE ALL THE ROOTS OF THE WEEDY PLANTS. WEEDS MAY NOT BE A PROBLEM IN THE SECOND YEAR, DEPENDING ON THE VARIETY AND TENACITY OF THE WEEDS PRESENT. IN THE THIRD YEAR AND BEYOND, THE NATIVE GRASSES, SEDGES, RUSHES, AND WILDOFLOWERS WILL BEGIN TO MATURE AND WILL OUT-COMPETE THE WEEDS. WEEDING ISOLATED PATCHES MIGHT STILL BE NEEDED ON OCCASION.
  - AFTER EACH GROWING SEASON, THE STEMS AND SEEDHEADS CAN BE LEFT FOR WINTER INTEREST, WILDLIFE COVER AND BIRD FOOD. ONCE SPRING ARRIVES AND NEW GROWTH IS 4-6 INCHES TALL, CUT ALL TATTERED PLANTS BACK. IF THE GROWTH IS REALLY THICK, HAND-CUT THE LARGEST PLANTS AND THEN USE A STRING TRIMMER TO MOW THE PLANTINGS BACK TO A HEIGHT OF SIX TO EIGHT INCHES. DEAD PLANT MATERIAL CAN ALSO BE REMOVED WITH A STRING TRIMMER OR WEED WHACKER AND COMPOSTED OR DISPOSED OF AS APPROPRIATE.
  - WATERING WILL BE REQUIRED AS INDICATED IN ITEM 6.E ABOVE.



### BIORETENTION BASIN PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE	SPACING	HEIGHT
ALCE	Allium cernuum	Nodding Pink Onion	48	3" Pot	12" O.C.	1'-2"
ASIN	Asclepias incarnata	Red Milkweed	94	3" Pot	12" O.C.	3'-5"
ASNA	Aster novae-angliae	New England Aster	120	3" Pot	12" O.C.	3'-6"
BALA	Baptisia lactea	White False Indigo	100	3" Pot	12" O.C.	3'-5"
BOAS	Boltonia asteroides	False Aster	80	3" Pot	12" O.C.	2'-4"
CAHE	Cassia hebecarpa	Wild Senna	18	3" Pot	12" O.C.	4'-6"
CALA	Coresopsis lanceolata	Band Coreopsis	80	3" Pot	12" O.C.	1'-3"
CAVU	Carex vulpinoidea	Fox sedge	12	3" Pot	12" O.C.	1'-3"
EICO	Euphorbia corollata	Flowering Spurge	56	3" Pot	12" O.C.	1'-2"
EUPA	Eupatorium maculatum	Joe Pye Weed	130	3" Pot	12" O.C.	4'-6"
EUPP	Eupatorium perfoliatum	Boneset	75	3" Pot	12" O.C.	2'-4"
IRSH	Iris sibirica	Wild Iris	102	3" Pot	12" O.C.	2'-3"
IRVE	Iris versicolor	Blue Flag Iris	58	3" Pot	12" O.C.	2'-3"
LIA8	Liatris aspera	Rough Blazingstar	142	3" Pot	12" O.C.	2'-3"
LISP	Liatris spicata	Dense Blazingstar	70	3" Pot	12" O.C.	3'-6"
LOCA	Lobelia cardinalis	Cardinal Flower	50	3" Pot	12" O.C.	2'-5"
LOSI	Lobelia siphilitica	Great Blue Lobelia	54	3" Pot	12" O.C.	1'-4"
MIRI	Mimulus ringens	Monkeyflower	12	3" Pot	12" O.C.	1'-3"
MCFI	Monarda fistulosa	Bergamot	142	3" Pot	12" O.C.	2'-5"
PAVI	Panicum integrifolium	Wild Quinine	154	3" Pot	12" O.C.	3'-5"
PAVI	Panicum virgatum	Switchgrass	148	3" Pot	12" O.C.	3'-6"
FEDI	Pantheon digitalis	Smooth Pantheon	60	3" Pot	12" O.C.	2'-3"
FHGL	Phlox glaberrima	Marsh Phlox	56	3" Pot	12" O.C.	2'-4"
PHVI	Physostegia virginiana	Obedient Plant	42	3" Pot	12" O.C.	2'-3"
RUSU	Rudbeckia hirta	Black-eyed Susan	126	3" Pot	12" O.C.	1'-3"
RUSU	Rudbeckia subtomentosa	Great Black-eyed Susan	134	3" Pot	12" O.C.	4'-6"
SCSC	Schizachyrium scoparium	Little Bluestem	80	3" Pot	12" O.C.	1'-3"
BOCH	Solidago chensis	Ohio Goldenrod	76	3" Pot	12" O.C.	3'-4"
BORI	Solidago riddellii	Riddell's Goldenrod	54	3" Pot	12" O.C.	1'-3"
TRCH	Tradescantia ohiensis	Spiderwort	56	3" Pot	12" O.C.	1'-4"
VEHA	Verbena hastata	Blue Vervain	122	3" Pot	12" O.C.	3'-6"
ZIAU	Zizia aurea	Divided Golden Alexander	44	3" Pot	12" O.C.	1'-2"



**KWIK TRIP**  
STORES

**KWIK STAR**  
STORES

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**REI**  
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING  
REI Engineering, INC.  
4080 N. 20th AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784 FAX: 715.675.0060  
EMAIL: MAIL@REIENGINEERING.COM

**PARAGON**  
DESIGN GROUP, LLC  
2776 North Sholes Avenue  
Milwaukee, WI 53210  
Tel: 414.449.1555  
Fax: 414.449.2425  
www.paragondg.com

BIORETENTION DETAILS & NOTES

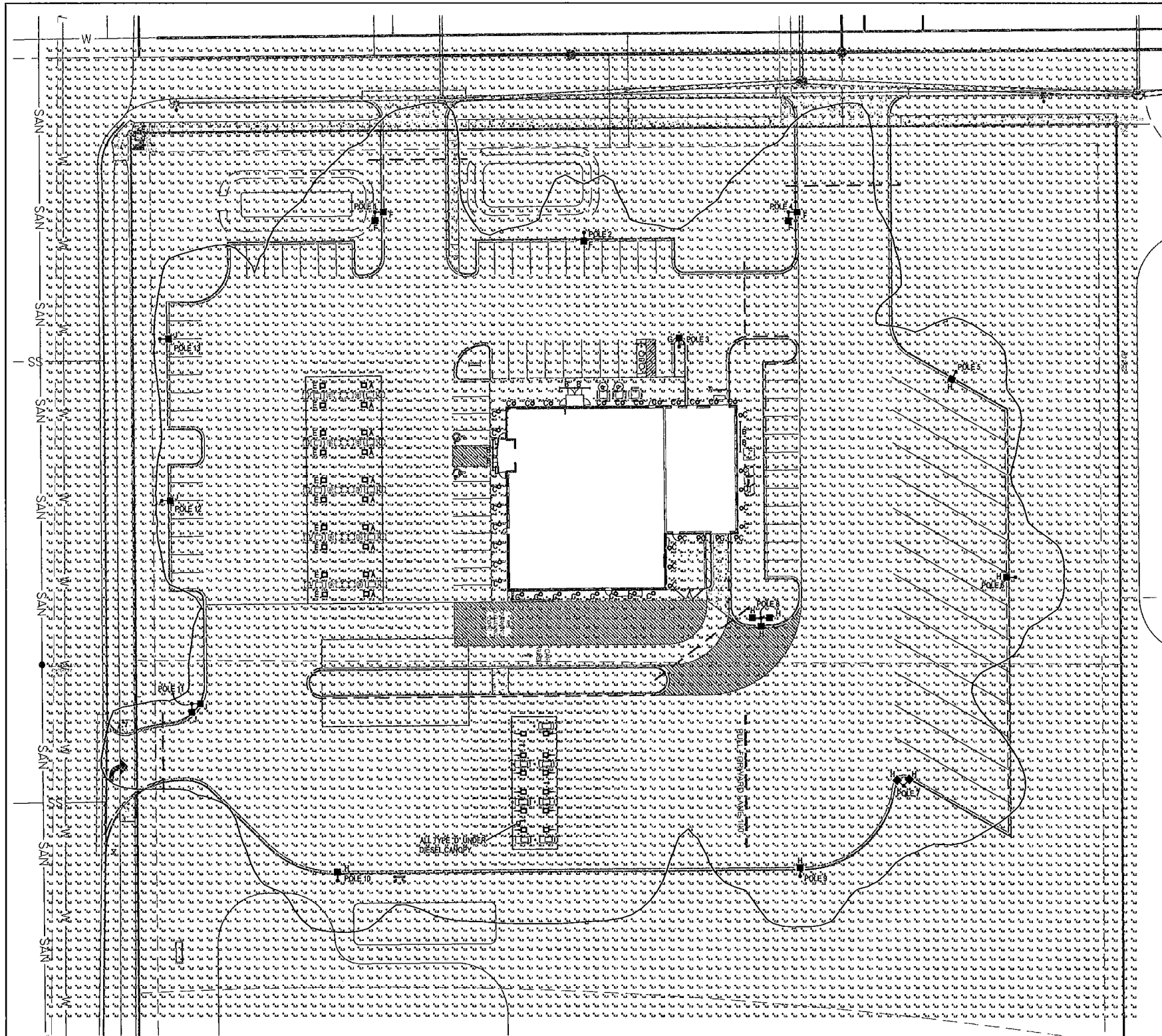
CONVENIENCE STORE #11114

NOT FOR CONSTRUCTION

SITE LOCATION  
HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: BJB  
SCALE: SEE SCALE BAR  
PROJ. NO.: 9388  
DATE: 10-09-2020 - REVIEW DOCUMENTS  
SHEET: L3.1



NOTE:  
FOOTCANDLE LEVELS SHOWN ON THIS PLAN  
ARE CALCULATED AT GRADE LEVEL.

**CALCULATION STATISTICS**  
AVERAGE: 3.3  
MAXIMUM: 87.6  
MINIMUM: 0.0

**FIXTURE QUANTITIES**

- A - 10
- B - 6
- C - 39
- D - 12
- E - 10
- F - 5
- G - 1
- H - 9
- J - 4

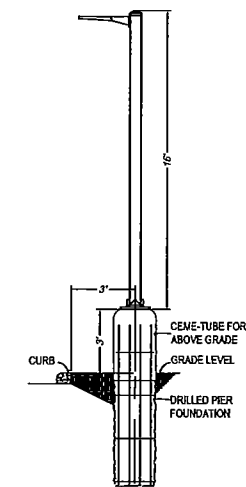
PROVIDE (13) 16' POLES.

**FIXTURE SYMBOLS:**

- A, D & E LED LIGHT MOUNTED UNDER FUEL CANOPIES
- B LED STRIP LIGHT MOUNTED IN GABLE
- C RECESSED LED DOWNLIGHT
- F, G, H & J POLE MOUNTED LED FIXTURE

**FIXTURE TYPES:**

- A - LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-50-WHT MOUNTED UNDER GAS CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING AT STORE FRONT.
- B - LED STRIP LIGHT MOUNTED IN GABLE LITHONIA - TZL1N-L96-10000LM-FST-MVOLT
- C - RECESSED LED DOWNLIGHT COTHAM EVO-3530-84R-MD-120-TRW
- D - LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-50-BLK MOUNTED UNDER DIESEL CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF ARROW.
- E - LSI LIGHTING: SCV-LED-15L-SC-UNV-DIM-50-WHT MOUNTED UNDER GAS CANOPY
- F - LSI LIGHTING: SLM-LED-9L-SIL-3-UNV-50-70CRU-WHT
- G - LSI LIGHTING: SLM-LED-9L-SIL-5W-UNV-50-70CRU-WHT
- H - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRU-WHT
- J - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRU-WHT-IL



**LOT LIGHT ELEVATION DETAIL**  
NOT TO SCALE

**PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 30'-0"

2020-0155.47

**GRAEF**  
275 West Wisconsin Avenue, Suite 300  
Milwaukee, WI 53203  
414 / 259 1500  
414 / 259 0037 fax

**Kwik  
TRIP**

**STORES**

**Kwik  
STAR**

**STORES**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**REI**  
CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING  
REI Engineering, INC.  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9184 FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM

PHOTOMETRIC  
LIGHTING PLAN  
CONVENIENCE STORE #1114

HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: AMM  
SCALE: GRAPHIC  
PROJ. NO.: 9388  
DATE: 08/14/20 - BID DOCUMENTS  
SHEET: E1



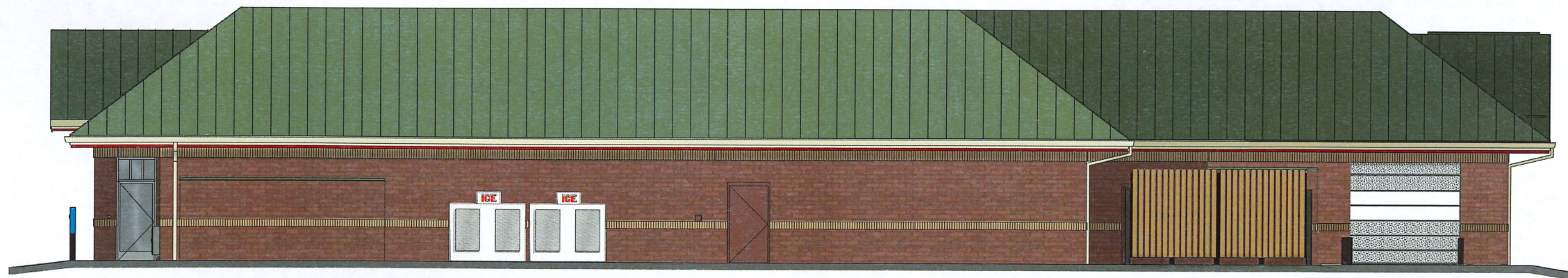
1 FRONT ELEVATION



2 LEFT ELEVATION



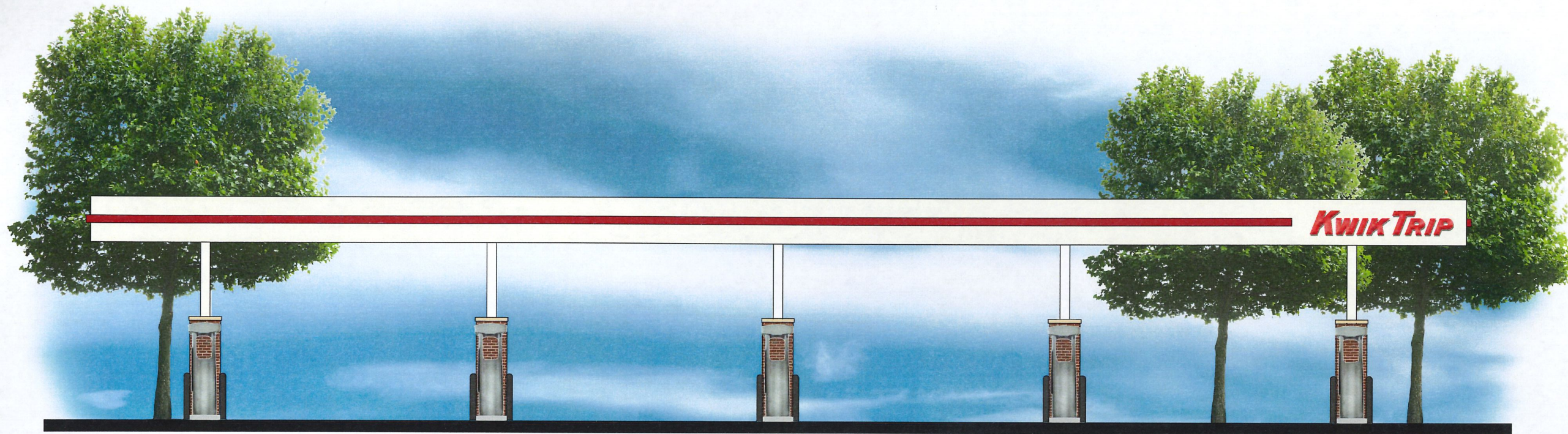
3 REAR ELEVATION



4 RIGHT ELEVATION



KWIK TRIP, Inc.  
P.O. BOX 2107  
1625 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



1 FRONT ELEVATION



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

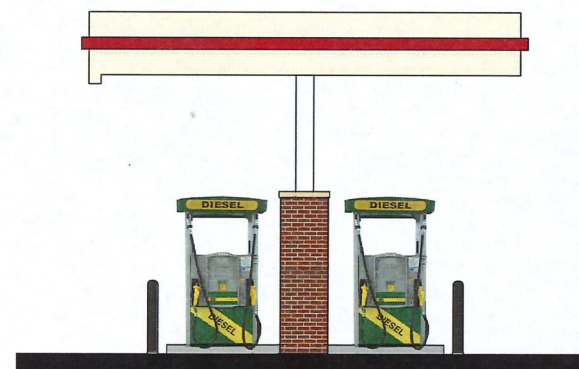
10 MPD  
 9' BRICK



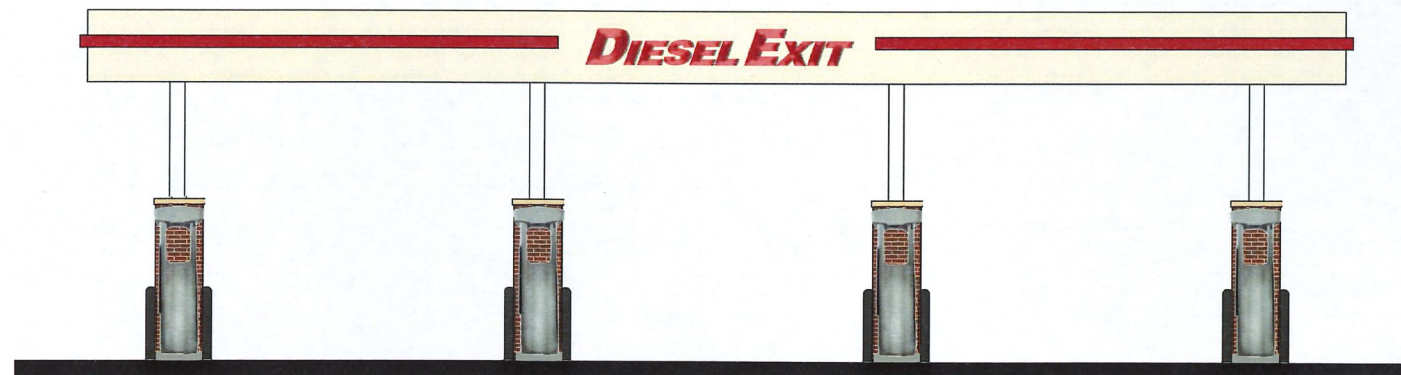
2 SIDE ELEVATION



1 FRONT ELEVATION



2 SIDE ELEVATION



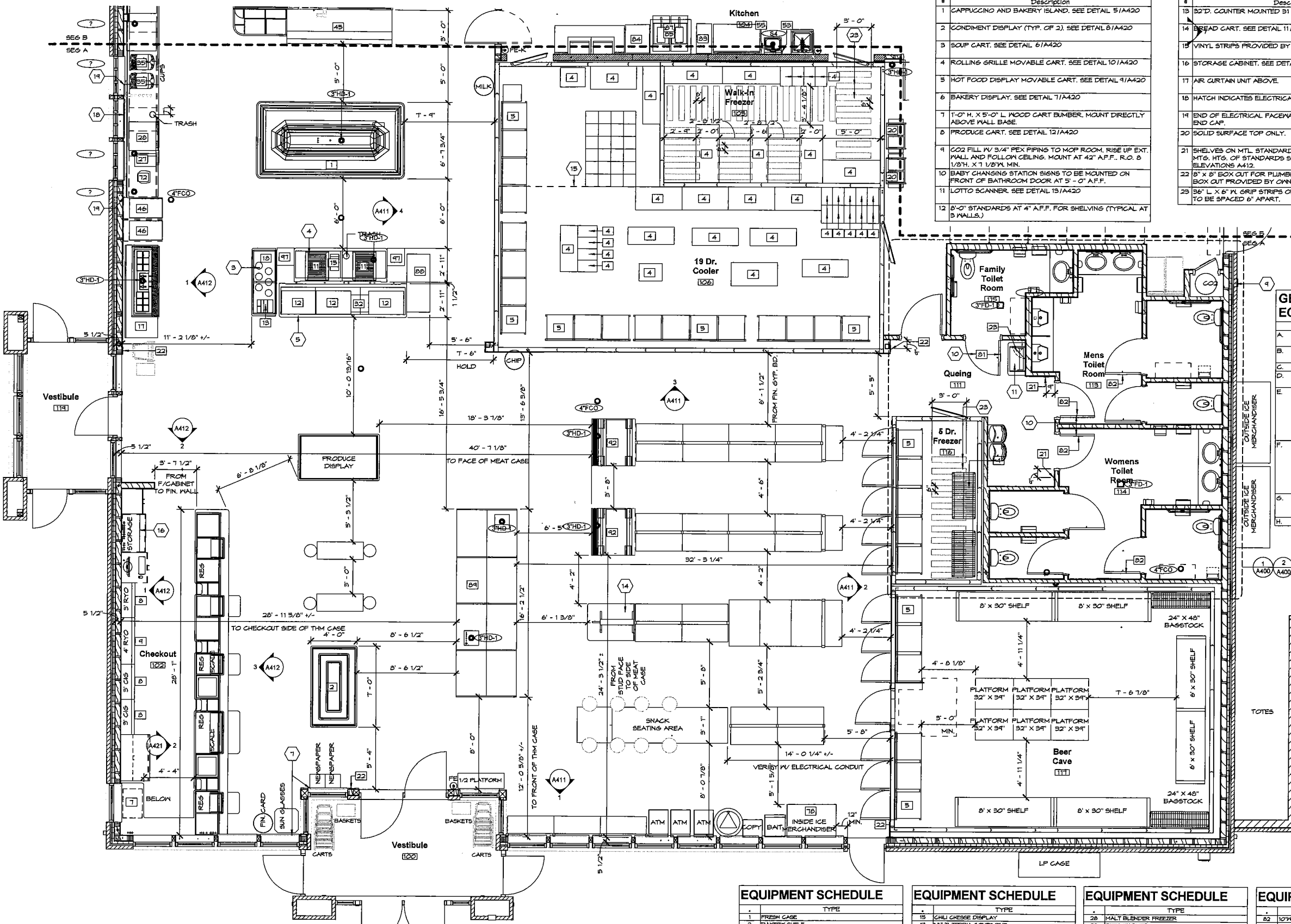
3 REAR ELEVATION

**KWIK  
TRIP**

**KWIK  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

3 LANE DIESEL  
9' BRICK



EQUIPMENT PLAN KEY NOTES	
#	Description
1	CAFFUCCINO AND BAKERY ISLAND. SEE DETAIL 5/1A420
2	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL 8/1A420
3	SOUP CART. SEE DETAIL 6/1A420
4	ROLLING GRILLE MOVABLE CART. SEE DETAIL 10/1A420
5	HOT FOOD DISPLAY MOVABLE CART. SEE DETAIL 9/1A420
6	BAKERY DISPLAY. SEE DETAIL 7/1A420
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER. MOUNT DIRECTLY ABOVE MALL BASE
8	PRODUCE CART. SEE DETAIL 12/1A420
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM. RISE UP EXT. WALL AND FOLLOW CEILING. MOUNT AT 42" A.F.F. R.O. @ 1/2" H. X 7 1/2" W. MIN.
10	BABY CHANGING STATION SIGNS TO BE MOUNTED ON FRONT OF BATHROOM DOOR AT 5'-0" A.F.F.
11	LOTTO SCANNER. SEE DETAIL 18/1A420
12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)

EQUIPMENT PLAN KEY NOTES	
#	Description
13	32"D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP
14	BREAD CART. SEE DETAIL 11/1A420
15	VINYL STRIPS PROVIDED BY COOLER MANUFACTURER.
16	STORAGE CABINET. SEE DETAIL 4/1A420
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY. PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.
21	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MFG. HTG. OF STANDARDS SHELVES). SEE INTERIOR ELEVATIONS A412.
22	8" X 8" BOX OUT FOR PLUMBING CASE. MATERIAL FOR BOX OUT PROVIDED BY OWNER.
23	36" L. X 6" W. GRIP STRIPS ON FREEZER FLOOR. STRIPS TO BE SPACED 6" APART.

GENERAL NOTES EQUIPMENT	
A.	ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
B.	CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
C.	CAULK SINK COUNTERTOPS AT MALL.
D.	CAULK/ROPE INSIDE COOLER/FREEZER GLASS DOORS.
E.	SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
F.	EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
G.	MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
H.	DIMENSIONS ARE FROM FINISHED FACE.

EQUIPMENT SCHEDULE	
#	TYPE
1	FRESH CASE
2	BAKERY SHELF
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
5	NSF APPROVED SHELVES - COOLERS/FREEZERS
7	UTILITY CART
8	8'-0" METAL LIGHTED CIGARETTE MERCHANDISER
9	4'-0" METAL LIGHTED CIGARETTE MERCHANDISER
11	ROLLER GRILL
12	HOT FOOD DISPLAY
13	CRACKER & SILVERWARE BASKET

EQUIPMENT SCHEDULE	
#	TYPE
15	CHILI CHEESE DISPLAY
17	MULTI-TERRIA CONDIMENT
18	SOUP WELL
30	DISH-WASH BOX RACK
21	ADA 6'0" MENUCHEN SIGNAGE WITH BRAILLE. SEE SHEET A403 FOR TYP. LOCATION
22	ADA 5'0" EXIT SIGNAGE WITH BRAILLE. SEE SHEET A501 FOR TYP. LOCATION
23	SECURITY MIRROR
27	MALT BLENDER

EQUIPMENT SCHEDULE	
#	TYPE
28	MALT BLENDER FREEZER
32	PIZZA MARKER
35	SLUSHIE MACHINE
46	SMOOTHIE MACHINE
53	SOUP DISPENSER
58	PAPER TOWEL DISPENSER-KITCHEN
72	PUMPED CREAM DISPENSER
76	INSIDE ICE MERCHANDISER
81	6'0" X 3'0" BABY CHANGING STATION SIGN

EQUIPMENT SCHEDULE	
#	TYPE
82	10'0" X 7'0" BABY CHANGING STATION SIGN
83	5'0" X 5'0" DUMP TABLE
84	ANYKING BREADER
85	HENRY PENNY OPEN FRYER
87	8'-0" TYPE WOOD
88	BAKERY TABLE
89	TAKE HOME MEAL CASE
92	OPEN AIR MEAT CASE
97	DISPLAY RACK

**1** EQUIPMENT FLOOR PLAN - SEG A  
1/4" = 1'-0"

**ADVANTAGE ARCHITECTS, INC.**  
 750 N. Third Street  
 La Crosse, WI 54601  
 Ph (608) 784-2729  
 Fax (608) 784-2826

**Kwik Trip**  
**Kwik Star**

Kwik Trip, Inc.  
 P.O. BOX 2107  
 1628 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

PROJECT TITLE:  
**Store #2021 - Gen 3-LH-1Bay-CW**  
 Kwik Trip, Inc.

PROJECT LOCATION:  
 Wisconsin

JOB #: 1081-  
 DATE: 00.00.2020  
 DRAWN BY: ams  
 TYPE: Prototype

REVISIONS  
 NO. DATE

SHEET TITLE  
 Equipment Floor Plan -  
 Segment 'A'

SHEET NO.  
**A120A**

**EQUIPMENT SCHEDULE**

#	TYPE
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
18	ICE CREAM NOVELTY CASE
20	BAG-N-MANAGE RACKS
22	ADA 5'x6' DOT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
24	UNDERCOUNTER REFRIGERATOR
28	FLOOR SCRUBBER
30	FOUNTAIN MACHINE
33	HOT WATER DISPENSER
34	ICE TEA MAKER
35	SUSHI-BEE MACHINE
36	SURSHOT FLAVORSHOT 2
38	COFFEE BREWER
39	COFFEE GRINDER
40	XPRESS TOUCH
41	ICE DISPENSER
42	MDX-3 MACHINE
43	COFFEE CONDIMENT DISPLAY

**EQUIPMENT SCHEDULE**

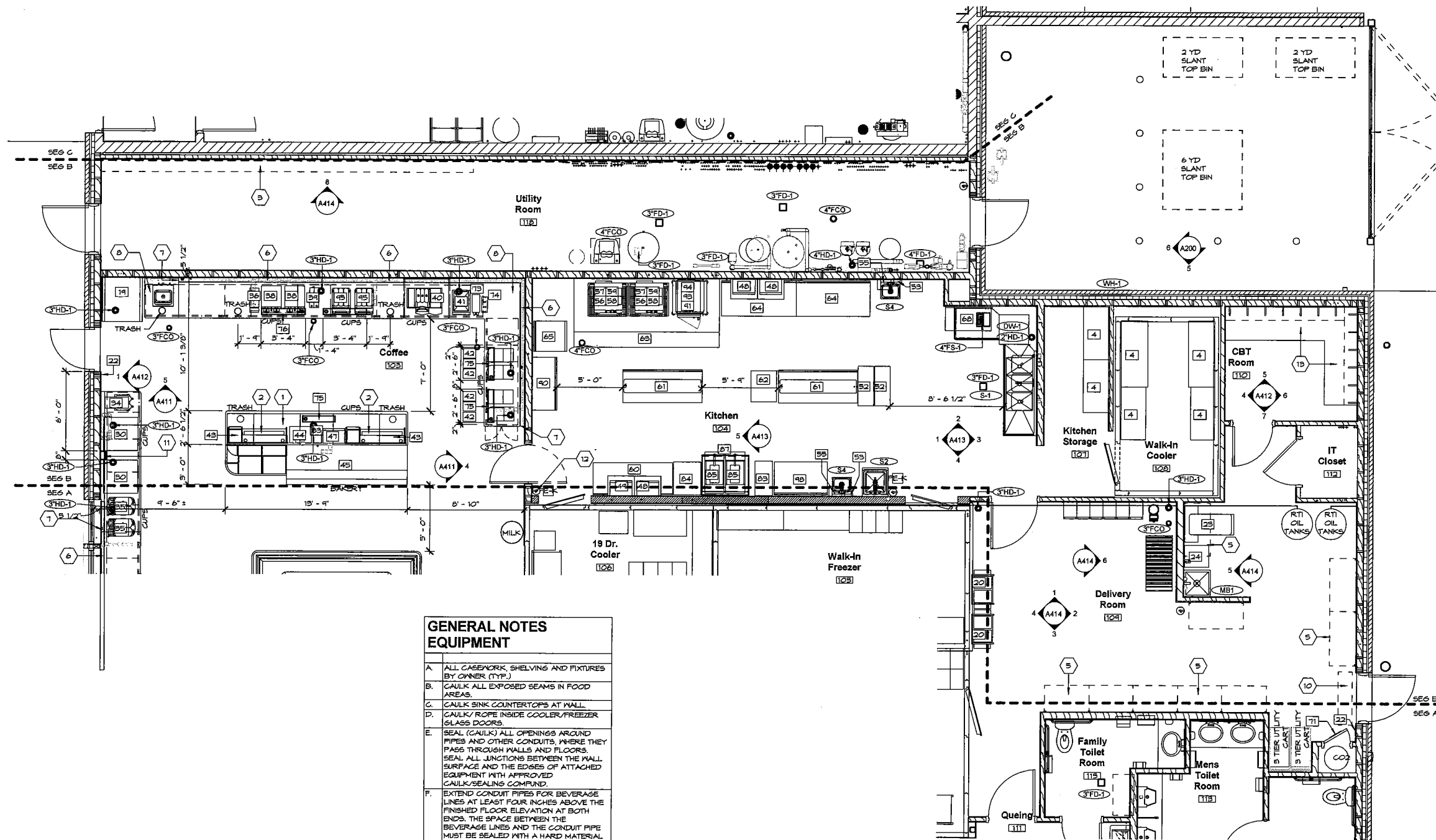
#	TYPE
44	CREAMER
45	BAKERY CASE
47	MICROWAVE - SHANK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE
52	BIN RACK
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
56	TURBOCHEF 13 OVEN RACK
57	TURBOCHEF OVEN
58	TURBOCHEF 13 OVEN
59	CART (STAINLESS STEEL)
60	4'-0" STAINLESS TABLE
61	6'-0" STAINLESS TABLE W/ CENTER SHELF ABOVE
62	BAKERY RACK WITH COVER
63	CAPTIVE AIRE HOOD

**EQUIPMENT SCHEDULE**

#	TYPE
64	REFRIGERATED PREP TABLE
65	UNDERCOUNTER FREEZER KITCHEN
68	42" STAINLESS DRY RACK
71	CO2 SIGNAGE BY OWNER
73	COLD BREW DISPENSER
74	SNOW MELT
75	30" DRIP TRAY
76	40" DRIP TRAY
83	SLES DIMP TABLE
84	AYRKINS BREADER
85	HENNY PENNY OPEN PRYER
87	3'-6" TYPE I HOOD
90	48" STAINLESS TABLE
91	VECTOR OVEN
93	VECTOR STAND
94	HOT FOOD HOLDING CABINETS
95	BEAN-TO-CUP
98	48" REFRIGERATED PREP TABLE

**EQUIPMENT PLAN KEYNOTES**

#	Description
1.	CAFFUCCINO AND BAKERY ISLAND. SEE DETAIL 5/A420
2.	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL 8/A420
3.	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MTS, HTGS. OF STANDARDS & SHELVES). SEE INTERIOR ELEVATIONS A412.
4.	SNOW MELT
5.	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS)
6.	HATCH INDICATES ELECTRICAL RACEWAY.
7.	END OF ELECTRICAL RACEWAY. PROVIDE SOLID SURFACE END CAP.
8.	SOLID SURFACE TOP ONLY.
9.	PROVIDE 8" X 32" OPENING AT 10' - 0" A.F.F. TO 10' - 8" A.F.F.
10.	AIR CURTAIN UNIT ABOVE.
11.	8'x4' x 3' D. BOX FOR POP LINES CHASE. MATERIAL FOR BOX OUT PROVIDED BY OWNER.
12.	10L GLASS "K" FIRE EXTINGUISHER
13.	32" D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP



**GENERAL NOTES EQUIPMENT**

- ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
- CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
- CAULK SINK COUNTERTOPS AT WALL.
- CAULK/ROPE INSIDE COOLER/FREEZER GLASS DOORS.
- SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
- EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
- MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
- DIMENSIONS ARE FROM FINISHED FACE.

**1 EQUIPMENT FLOOR PLAN - SEG B**  
1/4" = 1'-0"

**VANTAGE ARCHITECTS, INC.**  
La Crosse, WI 54601  
750 N. Third Street  
Ph (608) 784-2729  
Fax (608) 784-2626

**Kwik Trip**  
**Kwik Star**

Kwik Trip, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-9990

PROJECT TITLE:  
**Store #2021 - Gen 3-LH-1 Bay-CW**  
Kwik Trip, Inc.  
PROJECT LOCATION:  
Wisconsin

JOB #: 1081-  
DATE: 00.00.2020  
DRAWN BY: Author  
TYPE: Prototype

REVISIONS

NO.	DATE

SHEET TITLE  
Equipment Floor Plan - Segment 'B'

SHEET NO.  
**A120B**

**EQUIPMENT PLAN KEYNOTES**

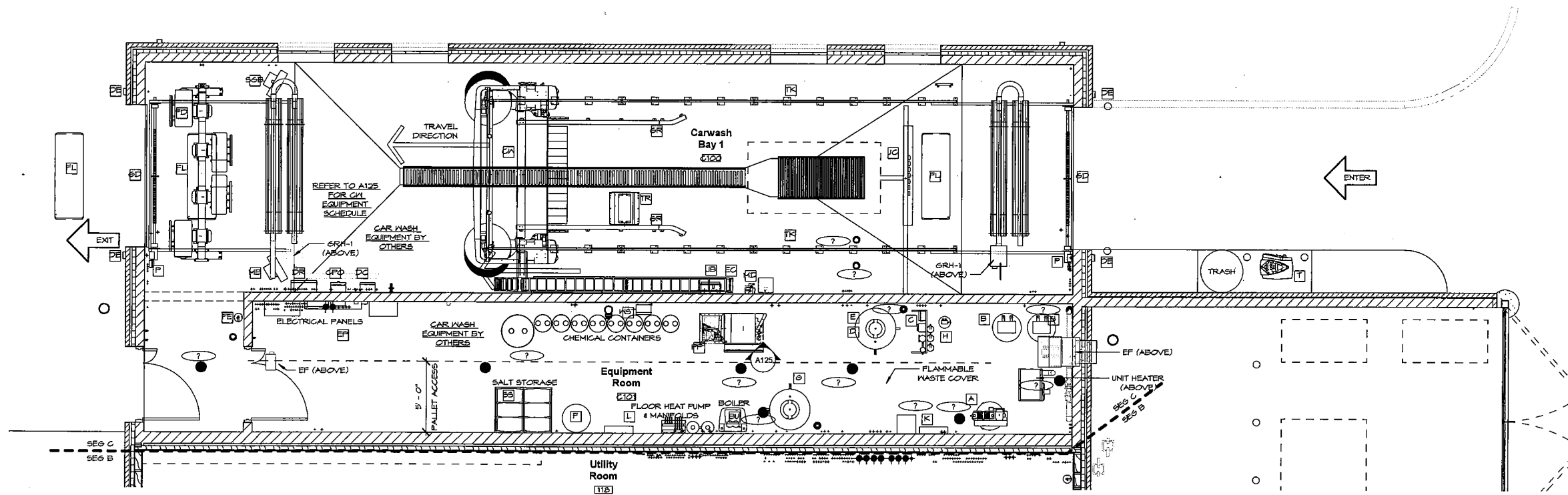
#	Description
1.	CAPPUCINO AND BAKERY ISLAND, SEE DETAIL S/A420
2.	CONDIMENT DISPLAY (TYP. OF 2), SEE DETAIL S/A420
3.	SHELVES ON MTL STANDARDS AND BRACKETS (VERIFY MTS, HTS. OF STANDARDS & SHELVES), SEE INTERIOR ELEVATIONS A412.
4.	SNOW MELT
5.	8'-0" STANDARDS AT 4' A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS)
6.	HATCH INDICATES ELECTRICAL RACEWAY.
7.	END OF ELECTRICAL RACEWAY, PROVIDE SOLID SURFACE END CAP.
8.	SOLID SURFACE TOP ONLY.
9.	PROVIDE 8" X 32" OPENING AT 10' - 0" A.F.F. TO 10' - 8" A.F.F.
10.	AIR CURTAIN UNIT ABOVE.
11.	8'W X 5'D. BOX FOR POP LINES CHASE, MATERIAL FOR BOX OUT PROVIDED BY OWNER.
12.	10L CLASS "K" FIRE EXTINGUISHER
13.	32" D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP

**GENERAL NOTES EQUIPMENT**

- A. ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
- B. CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
- C. CAULK SINK COUNTERTOPS AT WALL.
- D. CAULK/ROPE INSIDE COOLER/FREEZER GLASS DOORS.
- E. SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
- F. EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
- G. MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 18" ABOVE FINISHED FLOOR.
- H. DIMENSIONS ARE FROM FINISHED FACE.

**CAR WASH EQUIPMENT SCHEDULE**

TAG	DESCRIPTION
A	AIR COMPRESSOR
B	WATER SOFTENER
BU	BOILER UNIT
C	REVERSE OSMOSIS UNIT
CPO	CPO CONTROLLER
CM	CHOICEWASH XT GANTRY
CWB**	CITY WATER BOOST PUMP
D	RO WATER PUMP
DC	DOOR CONTROL - MARK VII
DE	DOOR SENSOR EYE
DR	DRYER CONTROL BOX (40hp)
DT	DRYER COUNTDOWN TIMER
E	SPOTFREE STORAGE TANK
EC	ENERGY CHAIN FEED SYSTEM
EP	ELECTRICAL PANELS (BY OTHERS)
F	BRINE TANK
FD	FS-40D FREESTANDING DRYER
FL	FLOOR LOOP SENSORS
G	RO REJECT WATER PUMP
GD	GARAGE DOORS
GR	GUIDE RAILS, SST LOW PROFILE
H	CARBON FILTER
JB	IN BAY JUNCTION BOX
K	AIR DOOR CONTROL BOX
L	CPC PANEL
MB	MENU BOARD - T POSITION
MD	MAIN DISCONNECT
P	DOOR CONTROL BOX
PP	PUMPING PLANT/ STAND
SSB	STOP-GO-BACK UP SIGN
SS	SALT STORAGE
T	COIN/ CODE BOX, POINT OF SALE
TK	GANTRY TRACK SS, LOW PROFILE
TR	TREADLE SENSOR PAD
UC	UNDERCARRIAGE WASH MANIFOLD IV
WC	FLAT COVER
WST	WASH STAT



**1 EQUIPMENT FLOOR PLAN - SEG C**  
1/4" = 1'-0"



**VANTAGE ARCHITECTS, INC.**  
750 N. Third Street  
La Crosse, WI 54601  
Ph (608) 784-2729 Fax (608) 784-2826



Kwik Trip, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8980

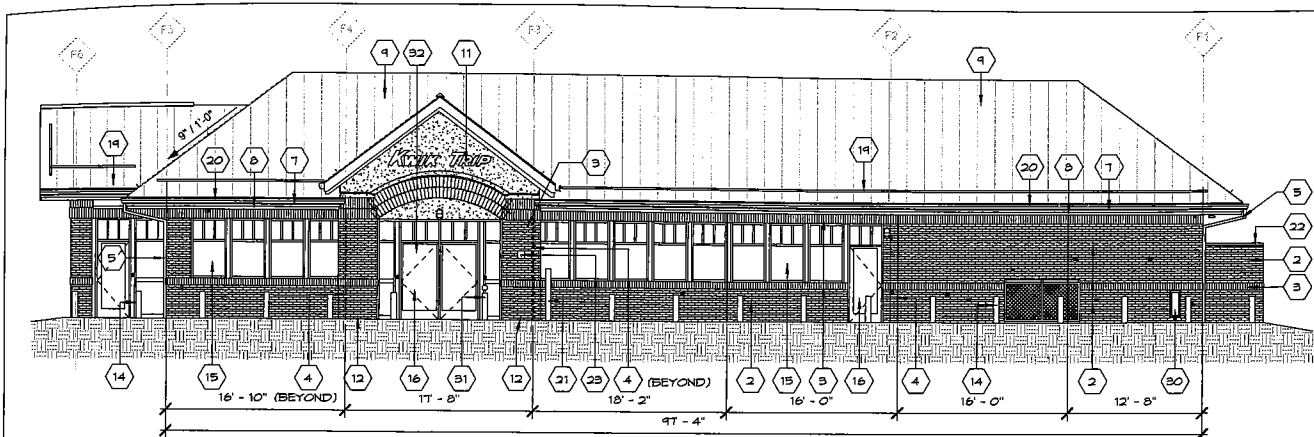
PROJECT TITLE:  
**Store #2021 - Gen 3-LH-1Bay-CW**  
Kwik Trip, Inc.  
PROJECT LOCATION:  
Wisconsin

JOB #: 1081-  
DATE: 00.00.2020  
DRAWN BY: Author  
TYPE: Prototype

REVISIONS	NO.	DATE

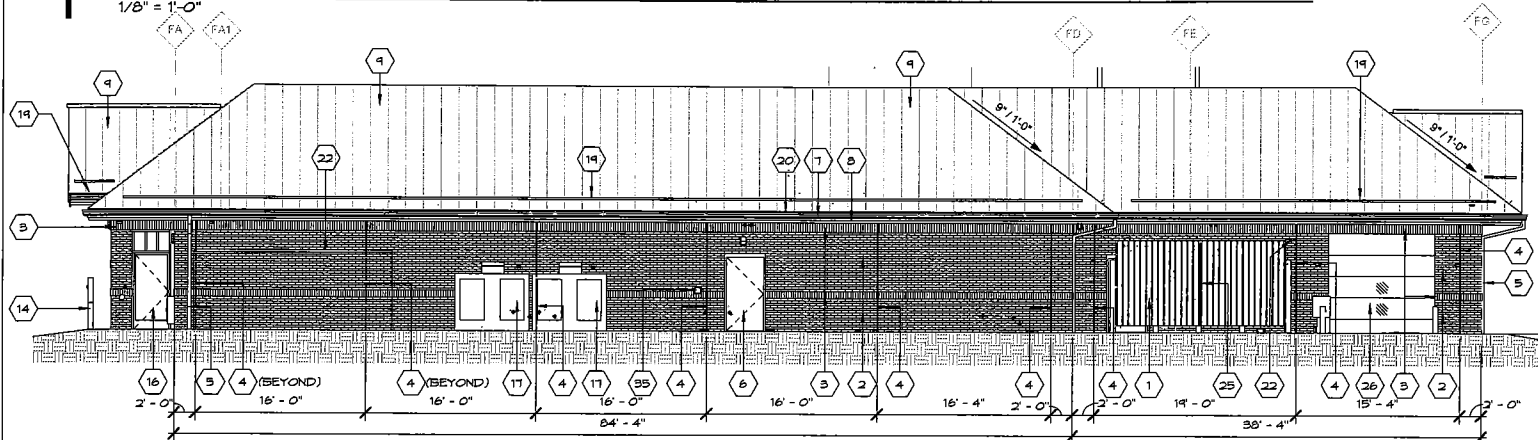
SHEET TITLE  
Equipment Floor Plan - Segment 'C'

SHEET NO.  
**A120C**



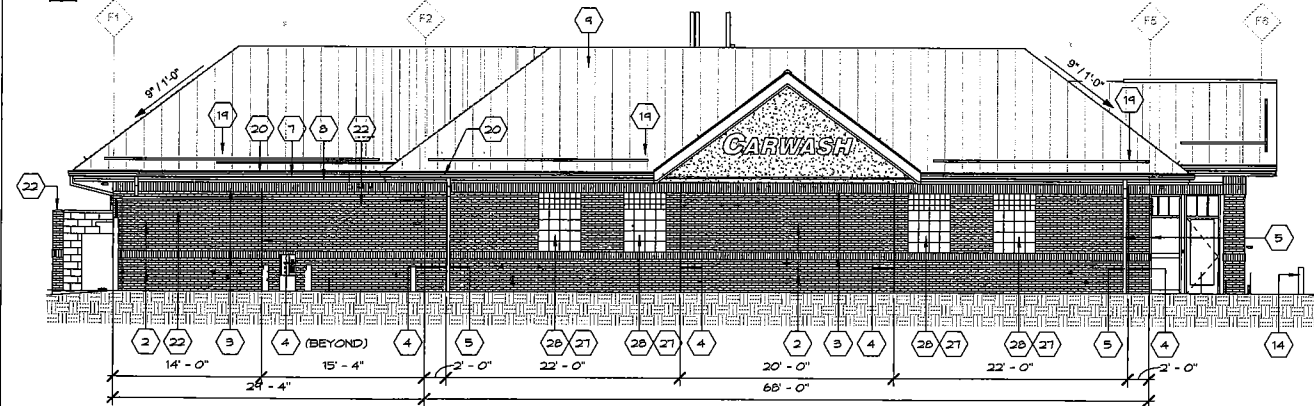
**1 FRONT ELEVATION**

1/8" = 1'-0"



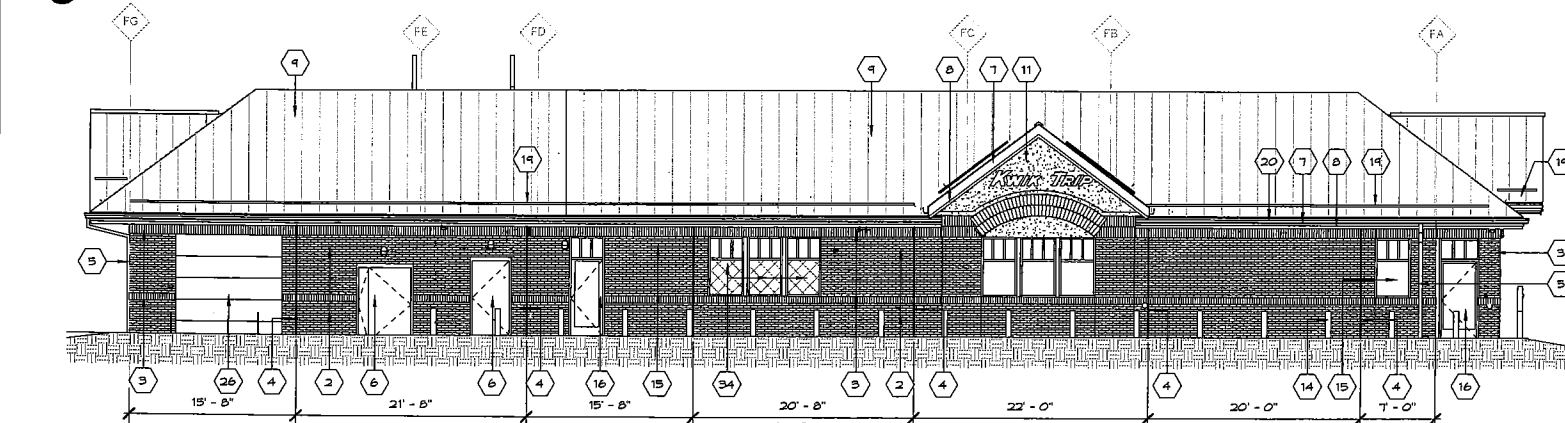
**2 LEFT ELEVATION**

1/8" = 1'-0"



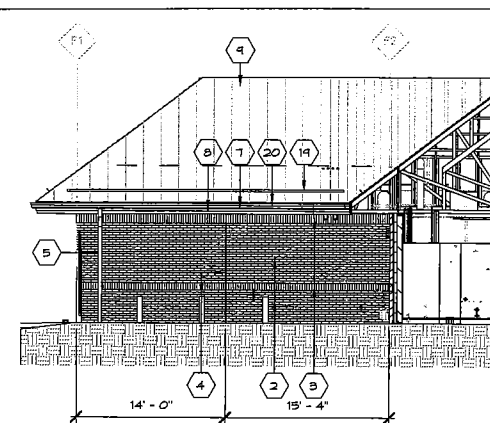
**3 REAR ELEVATION**

1/8" = 1'-0"



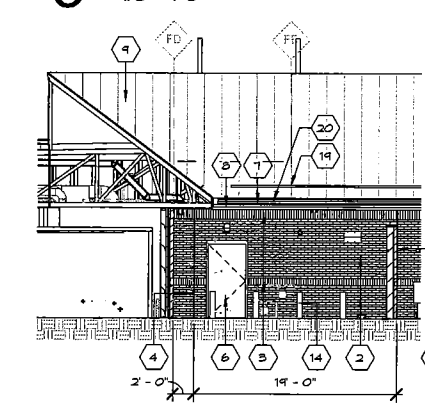
**4 RIGHT ELEVATION**

1/8" = 1'-0"



**5 REAR INSIDE ENCLOSURE**

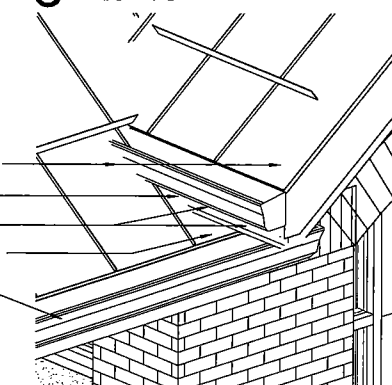
1/8" = 1'-0"



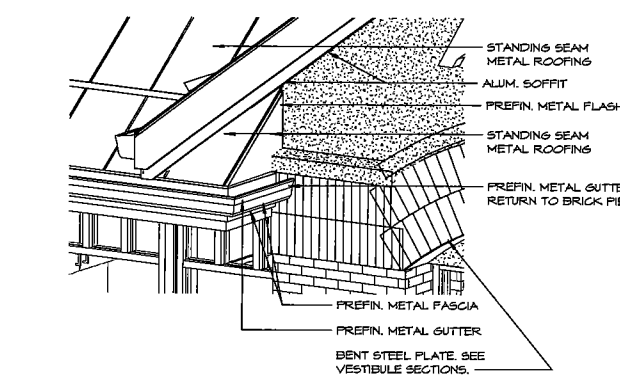
**6 LEFT INSIDE ENCLOSURE**

1/8" = 1'-0"

STANDING SEAM METAL ROOFING  
 PREFIN. METAL FLASHING  
 PREFIN. METAL FASCIA  
 STANDING SEAM METAL ROOFING  
 PREFIN. METAL GUTTER



**7 VESTIBULE EAVE TO ROOF FLASHING DETAIL**



**8 FRONT VESTIBULE METAL ROOF RETURN**

**EXTERIOR ELEVATION KEYNOTES**

MARK	DESCRIPTION
1	TRASH ENCLOSURE.
2	MODULAR BRICK VENEER (RED).
3	BRICK SOLDIER COURSE (TAN). SEE SECTION FOR SIZE
4	BRICK CONTROL JOINT. SEALANT COLOR TO MATCH BRICK COLOR.
5	ALUMINUM DOWNSPOUT.
6	HOLLOW METAL DOOR & FRAME. PAINT. CAULK COLOR TO MATCH BRICK.
7	ALUMINUM FASCIA - ALMOND.
8	ALUMINUM FASCIA - RED.
9	PREFINISHED STANDING SEAM METAL ROOFING.
10	GT CABINET AND ELECTRICAL METER. RE: ELECT. PLANS.
11	EIFS. COLOR: TAN.
12	CAST ALUMINUM BRICK VENT - HOHMANN & BARNARD #C825, 8" X 2 1/4".
13	EMERGENCY FUEL SHUT OFF. RECESS FLUSH W/ WALL.
14	6" BOLLARD W/ 40" PLASTIC SLEEVE. SEE SHEET A124.
15	ALUMINUM STOREFRONT FRAMING W/ INSULATED GLAZING. CAULK COLOR GRAY DYMONIC.
16	ALUMINUM STOREFRONT ENTRANCE. CAULK COLOR GRAY DYMONIC.
17	ICE MERCHANTISER
18	LP CAGE
19	SNOW RETENTION BAR
20	PREFINISHED METAL GUTTER
21	BLUE HDGP. BOLLARD. REFER TO SITE PLANS.
22	PREFINISHED METAL WALL CAP.
23	KNOX BOX LOCATION WHEN NEEDED. OWNER PROVIDED.
24	SPLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF
26	INSULATED POLYCARBONATE DOOR
27	12 X 12 GLASS BLOCK
28	6 X 6 GLASS BLOCK
29	SUPPLY FAN. SEE HVAC PLANS.
30	FIRE EXTINGUISHER CABINET
31	HANDICAP PUSH PLATE. SEE ELECTRICAL SHEETS FOR MOUNTING HEIGHTS.
32	STREET ADDRESS NUMBERS TO BE LOCATED ON ENTRANCE DOOR. VERIFY WITH OWNER BEFORE APPLYING.
33	BRICK SOLDIER COURSE FIELD COLOR - (RED).
34	ALUMINUM STOREFRONT FRAMING W/ INSULATED SPANDREL GLAZING. CAULK COLOR GRAY DYMONIC.
35	CO2 FILL BOX. SEE FLOOR PLAN FOR MOUNTING HEIGHTS.

**Exterior Door Color Code**

BAC Blend-a-Color	02	32	64	120
W1 White	-	12	1	-
B1 Black	-	24	1	-
R2 Maroon	-	19	-	-
R3 Magenta	-	26	1	1

**EXTERIOR COLOR SCHEDULE**

MATERIAL	MANUFACTURER	COLOR
BOLLARDS	-	BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED ALMOND
GUTTERS & DOWNSPOUTS	-	ALMOND
SOFFIT	UNA-CLAD	WHITE
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
MORTAR	-	GREY
SEALANT	-	-
RED BRICK	TREMCO DYMONIC	REDWOOD TAN
TAN BRICK	TREMCO DYMONIC	LIMESTONE
ROOF CAP CAR WASH	UNA-CLAD	HEMLOCK GREEN
TAN BRICK	LEGENDARY	CLEAR BUFF
RED BRICK	LEGENDARY	CABERNET BURGUNDY
EIFS	TOTAL WALL	MORNING MIST SWIRL TEXTURE
TRASH ENCLOSURE CAP	UNA-CLAD	HEMLOCK GREEN

**EXTERIOR ELEVATION NOTES**

- A. SEE FLOOR PLAN FOR WINDOW TYPE KEYS.
- B. CONTROL JOINT SEALANT TO MATCH VENEER COLOR.
- C. ALL DOWNSPOUTS TO CONNECT IV BELOW GRADE DRAIN.
- D. VERIFY NUMBER OF GABLES AND LOCATION OF SIGNAGE WITH OWNER.

**ADVANTAGE ARCHITECTS, INC.**  
 La Crosse, WI 54601  
 750 N. Third Street  
 Ph: (608) 764-2729

**Kwik Trip**  
**Kwik Star**

Kwik Trip, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH: (608) 781-8888  
 FAX: (608) 781-8860

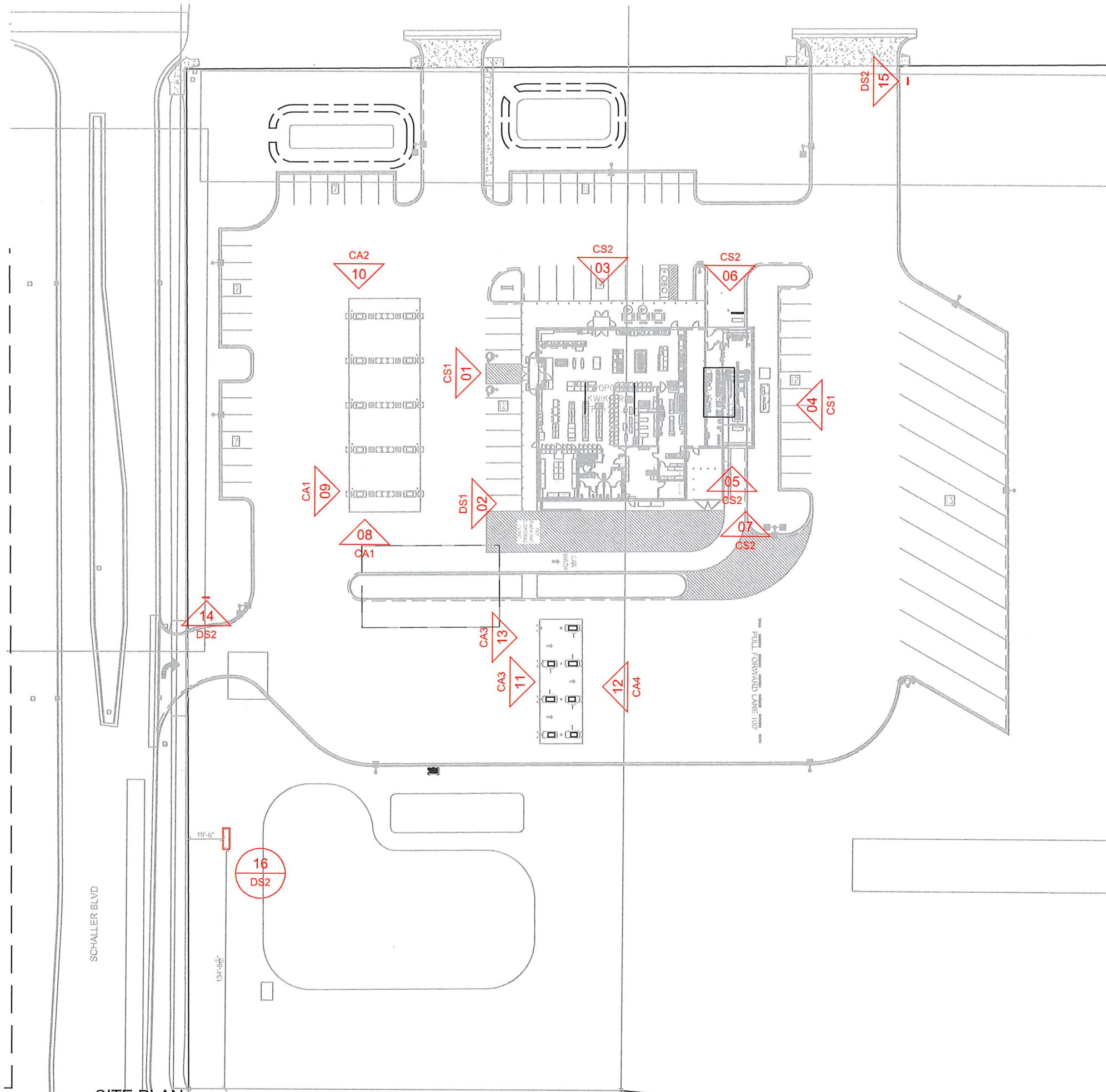
PROJECT TITLE: Store #2021 - Gen 3-LH-1Bay-CW  
 Kwik Trip, Inc.  
 PROJECT LOCATION: Wisconsin

JOB #: 1081-  
 DATE: 00.00.2020  
 DRAWN BY: Author  
 TYPE: Prototype

REVISIONS	
NO.	DATE

SHEET TITLE  
 Exterior Elevations

SHEET NO.  
**A200**



- PROPOSED SIGNS:**
- #01 15" LED KWIK TRIP BUILDING LETTERS & 10" MARKET LETTERS
  - #02 CARWASH DIRECTIONAL BUILDING SIGN
  - #03 15" LED KWIK TRIP BUILDING LETTERS & 10" MARKET LETTERS
  - #04 18" LED KWIK TRIP & 24" CARWASH BUILDING LETTERS
  - #05 CARWASH ENTER
  - #06 CARWASH EXIT
  - #07 CARWASH INFORMATIONAL SIGN
  - #08 24" LED KWIK TRIP CANOPY LETTERS
  - #09 24" LED KWIK TRIP CANOPY LETTERS
  - #10 24" LED KWIK TRIP CANOPY LETTERS
  - #11 18" LED ENTER CANOPY SIGN
  - #12 18" LED EXIT CANOPY SIGN
  - #13 DEF PRICE SIGN
  - #14 DRIVEWAY DIRECTIONAL
  - #15 DRIVEWAY DIRECTIONAL
  - #16 FREESTANDING MONUMENT SIGN



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**SITE PLAN**  
**CONVENIENCE STORE #1114**  
**W/ 1 BAY CW & SIDE DIESEL**  
HWY 53 & HWY 35  
HOLMEN, WI

#	DATE	DESCRIPTION

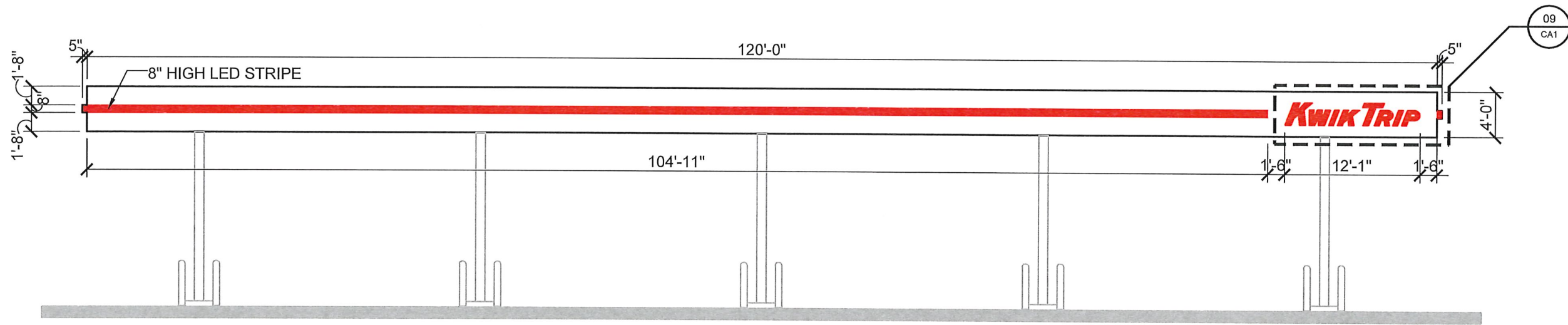
DRAWN BY: KMK  
SCALE: MULTIPLE  
PROJ. NO.: 0001  
DATE: 2020-09-08  
SHEET: 02

**SITE PLAN**  
1" = 60' 0"



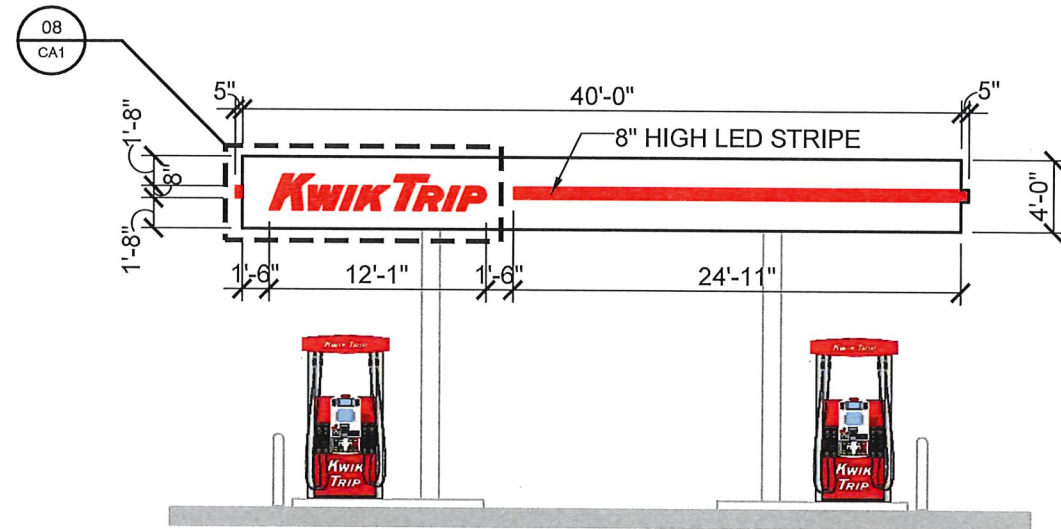






CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #08 & #09



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

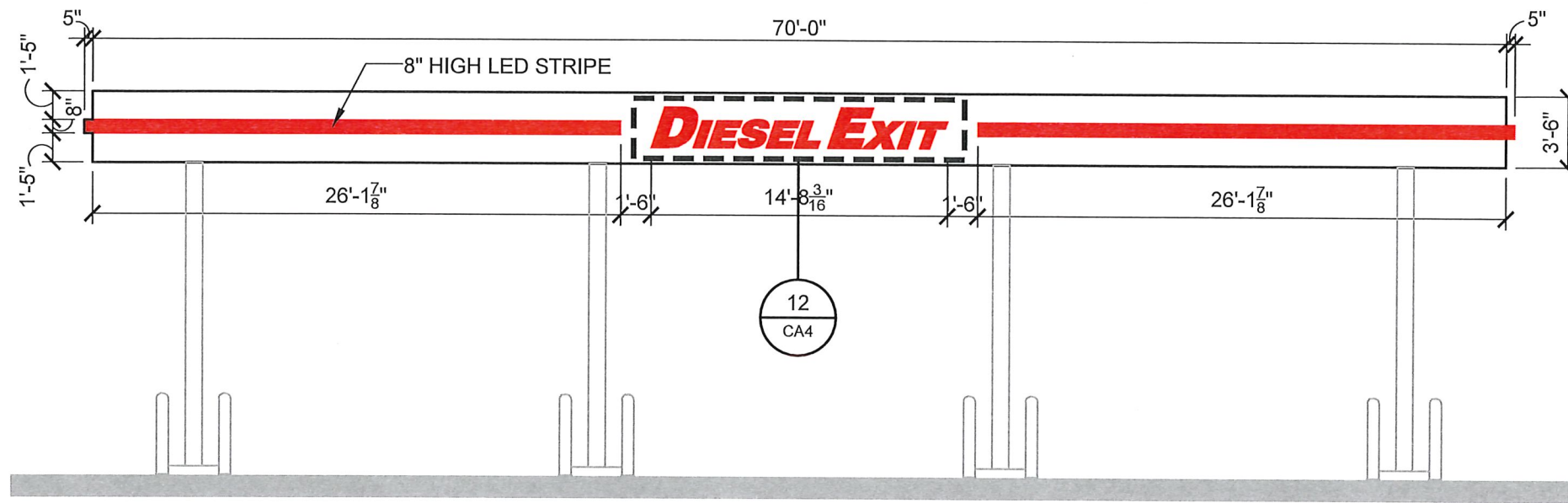
CANOPY SIGNAGE  
 CONVENIENCE STORE #1114  
 W/ 1 BAY CW & SIDE DIESEL  
 HWY 53 & HWY 35  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK  
 SCALE: MULTIPLE  
 PROJ. NO.: 0001  
 DATE: 2020-09-08

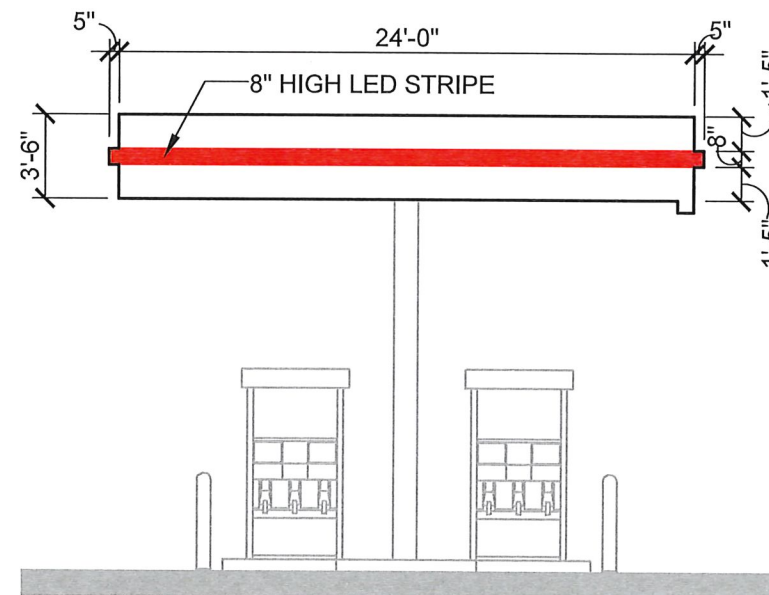






CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



LOGO DETAIL - SIGN #12



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

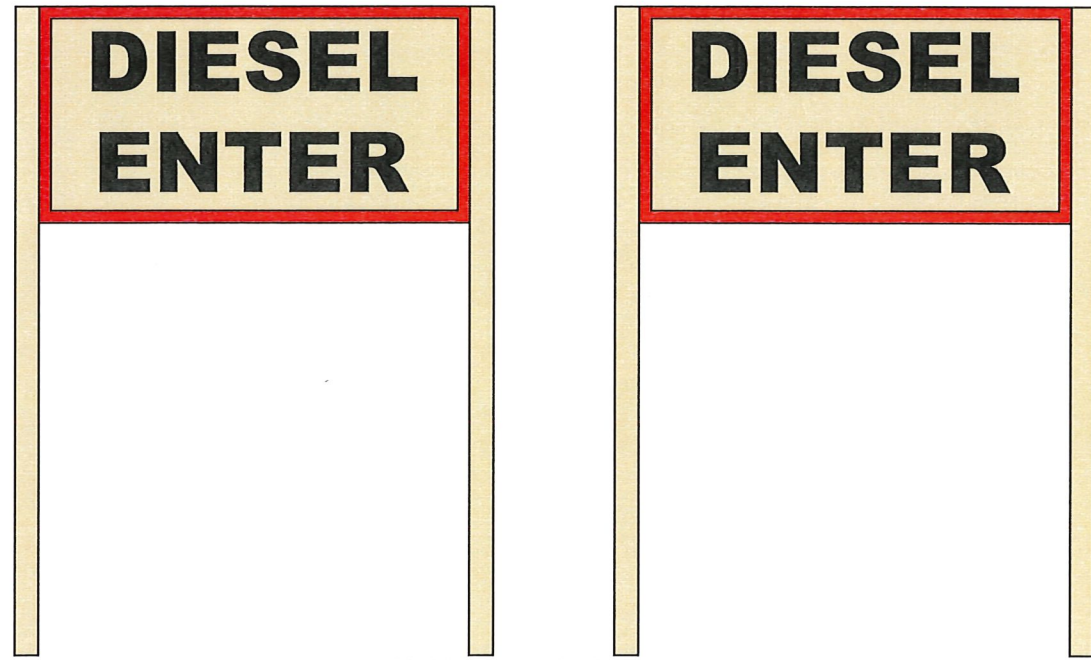
CANOPY SIGNAGE  
CONVENIENCE STORE #1114  
W/ 1 BAY CW & SIDE DIESEL  
HWY 53 & HWY 35  
HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK  
SCALE: MULTIPLE  
PROJ. NO.: 0001  
DATE: 2020-09-08



DOUBLE SIDED DIRECTIONAL SIGN

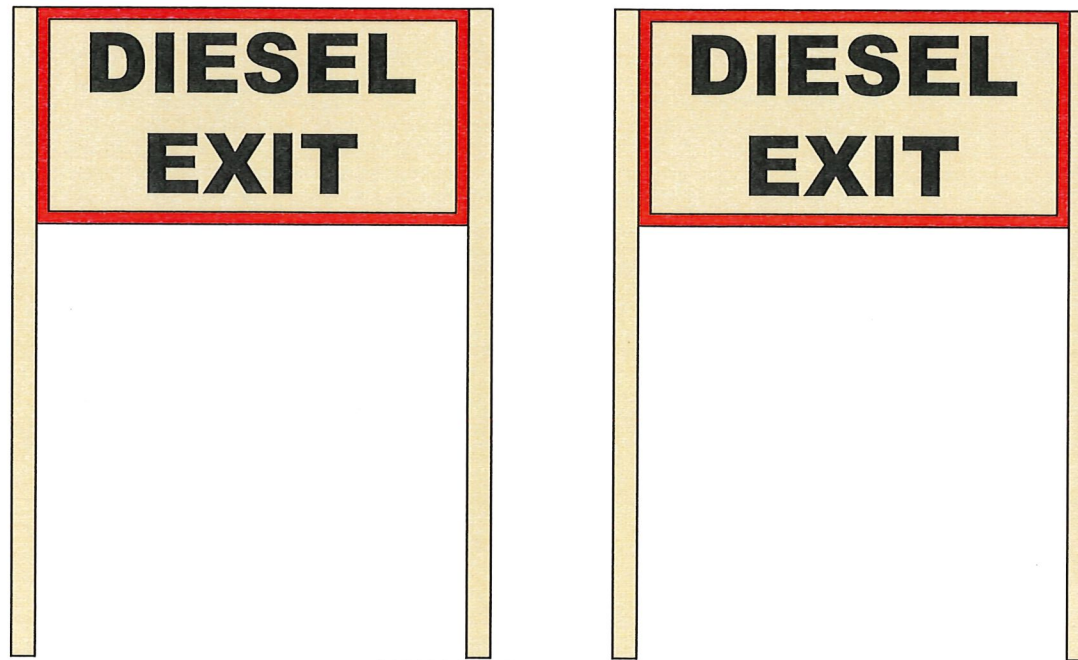


NON-LIT DIRECTIONAL SIGN  
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM  
 1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #14

SCALE: 3/4" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN



NON-LIT DIRECTIONAL SIGN  
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM  
 1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #15

SCALE: 3/4" = 1'-0"

#16 KWIK TRIP FREESTANDING MONUMENT SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #1114  
 W/ 1 BAY CW & SIDE DIESEL

HWY 53 & HWY 35  
 HOLMEN, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK  
 SCALE: MULTIPLE  
 PROJ. NO.: 0001  
 DATE: 2020-09-08



IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE



WATERLOO  
1020 Wilbur Ave. PO BOX 2098  
Waterloo, IA 50704  
319-233-4604 • 800-728-4604  
Fax: 319-233-7514

MARSHALLTOWN  
605 Iowa Ave. West  
Marshalltown, IA 50158  
641-752-6608 • 888-656-7446  
Fax: 641-752-6968

**PROJECT**

**LOCATION**

**REPRESENTATIVE**

SARAH

**DESIGNER**

HMF-

**SKETCH #**

4-23-19A

**SCALE**

3/8" = 1'0"

**FILE NAME**

**PRINT FILE(S)**

/

**REVISION(S)**

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -

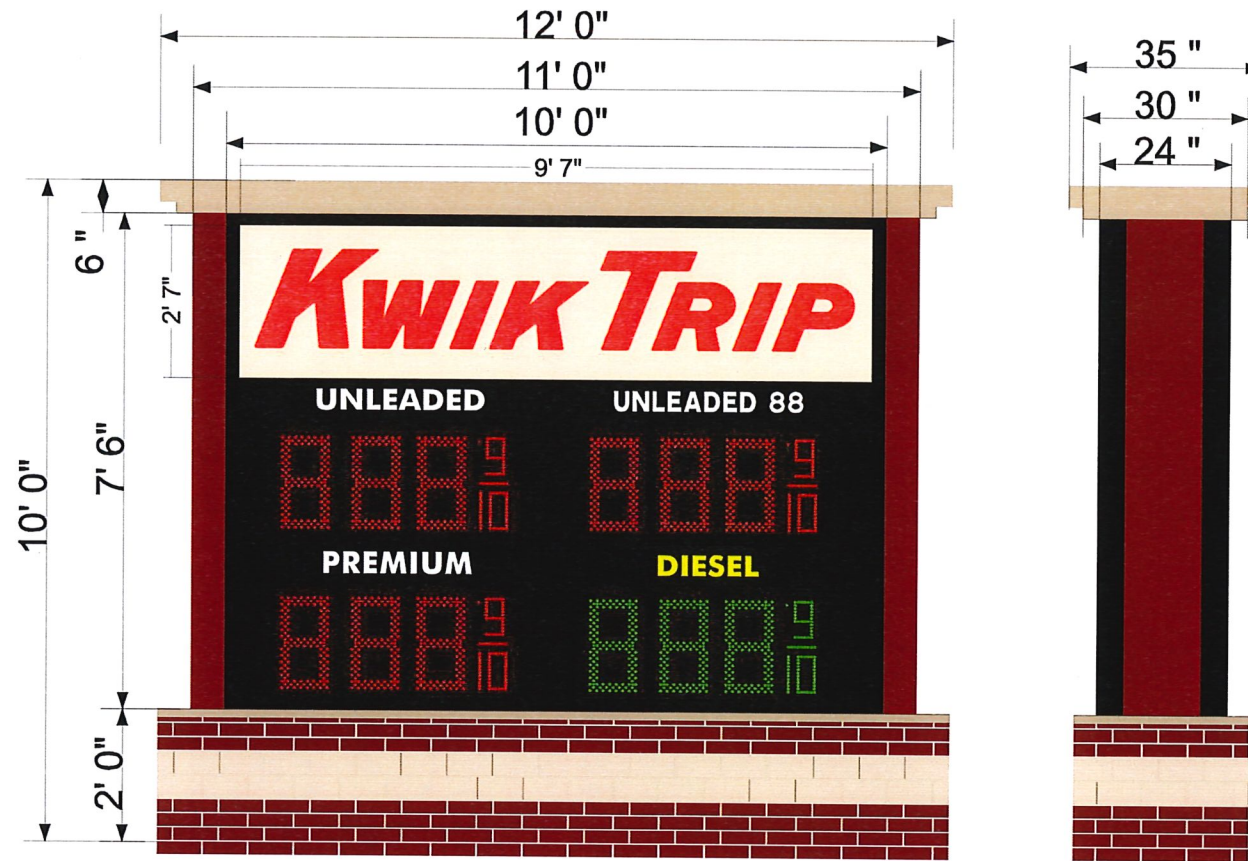
**WORK ORDER #**



**CLIENT APPROVAL**  
SIGNATURE/DATE

naglesigns.com

#1114 Holmen, WI



PRICE SIGN CABINET 0.080" ALUMINUM FACE  
W/ CUT OUTS FOR ILLUMINATED PRODUCT PANELS & 18" DAK PRICE DIGITS  
PRODUCT ID'S ARE HELD IN BY FRAME/RETAINER SYSTEM TO MAKE  
SLIDE OUT FACES BE EASILY REMOVED IF A FUEL GRADE CHANGES  
White PRINCIPAL LED'S

COPYRIGHT 2017 - THIS ARTWORK IS PROPERTY OF NAGLE SIGNS INC. AND MAY NOT BE REPRODUCED. THIS RENDERING IS FOR REPRESENTATIONAL PURPOSES ONLY  
Color output may not be exact when viewing or printing this drawing. If these colors are incorrect, please provide the correct PMS match & the revision will be made.

IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE

IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE

IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE

VILLAGE OF HOLMEN ANNEXATION PETITION

The undersigned, being all the electors and owners of all of the real property described below, do hereby petition the Village of Holmen for direct annexation of said described properties now located in the Town of Holland in La Crosse County, Wisconsin, to said Village of Holmen pursuant to Wisconsin Statutes, Sec. 66.0217(2) This land is contiguous to the Village of Holmen limits and is described as follows:

Description of property: See Attached Annexation Description

Total Acreage: 5.618 ac

Tax Parcel No(s): 8-1191-0, 8-1187-1, 8-1164-0

The proposed Village zoning on these parcels is: Commercial B-2

The current population of the territory affected by this petition is: 4

RECEIVED  
12/22/20  
@ 8:30am

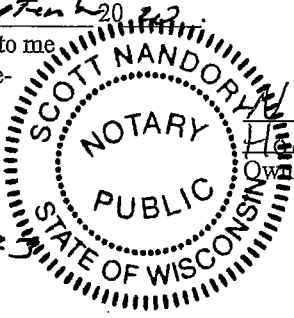
Dated this 10<sup>th</sup> day of September, 20 20

State of Wisconsin}   
 }ss.   
 County of La Crosse}

Steven Carpenter  
Owner name  
[Signature]  
Owner name

Personally came before me this 10<sup>th</sup> day of September, 20 20,  
STEVEN CARPENTER, to me  
known to be the person(s) who executed the fore-  
going instrument and acknowledged the same.

[Signature]  
Notary Public, State of Wisconsin  
My Commission Expires: 10-28-2023



7676 County Rd xx  
Holmen WI 54636  
Owner address

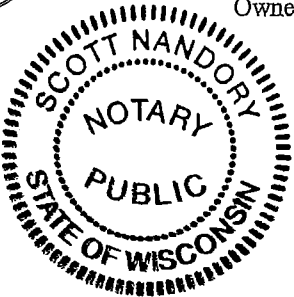
Dated this 10<sup>th</sup> day of September, 20 20

State of Wisconsin}   
 }ss.   
 County of La Crosse}

Chelsea Carpenter  
Owner name  
[Signature]  
Owner name

Personally came before me this 10<sup>th</sup> day of September, 20 20,  
Chelsea Carpenter, to me  
known to be the person(s) who executed the fore-  
going instrument and acknowledged the same.

[Signature]  
Notary Public, State of Wisconsin  
My Commission Expires: 10-28-2023



7676 City Rd XX  
Holmen, WI 54636  
Owner address

50

## ANNEXATION DESCRIPTION

(PARCEL NO. 8-1191-0 AND PART OF 8-1164-0 AND PART OF 8-1187-1)

PART OF THE NE1/4 OF THE NW1/4, AND PART OF THE NW1/4 OF THE NW1/4 OF SECTION 35, T18N, R8W, AND PART OF THE SE1/4 OF THE SW1/4 OF SECTION 26, T18N, R8W, TOWN OF HOLLAND, LACROSSE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 35, T18N, R8W; THENCE S87°05'34"W, 877.68 FEET, TO THE NORTHWEST CORNER OF LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 19 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 55, AS DOCUMENT NUMBER 1755451, AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S00°10'42"W, 479.47 FEET ALONG THE WEST LINE OF LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 9, PAGE 55, AND ALONG THE WEST LINE OF LOTS 8, 9 AND 10 OF BLOCK 9 OF THE RECORDED SUBDIVISION PLAT OF MCGILVRAY PARK, TO THE NORTHEAST CORNER OF LOT 12, BLOCK 9 OF MCGILVRAY PARK; THENCE S89°56'32"W, 531.55 FEET ALONG THE NORTH LINE OF LOTS 12 THROUGH 16 OF BLOCK 9 OF MCGILVRAY PARK, TO THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD XX; THENCE N27°05'10"E, 63.52 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD XX; THENCE CONTINUING NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 271.70 FEET ALONG THE ARC OF A 652.12 FOOT RADIUS CURVE, CONCAVE TO THE NORTHWEST, THE CHORD OF WHICH BEARS N17°19'33"E, AND MEASURES 269.74 FEET; THENCE CONTINUING NORTHERLY ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD XX AND THE NORTHERLY EXTENSION THEREOF, 249.20 FEET ALONG THE ARC OF A 3345.10 FOOT RADIUS CURVE, CONCAVE TO THE WEST, THE CHORD OF WHICH BEARS N03°43'08"E, AND MEASURES 249.14 FEET, TO THE REFERENCE LINE OF STATE HIGHWAY 35, AS DEPICTED ON WISCONSIN DEPARTMENT OF TRANSPORTATION PROJECT S0119(3); THENCE EASTERLY ALONG SAID HIGHWAY REFERENCE LINE, 259.14 FEET ALONG THE ARC OF A 22,920.00 FOOT RADIUS CURVE, CONCAVE TO THE NORTH, THE CHORD OF WHICH BEARS S88°34'43"E, AND MEASURES 359.13 FEET, TO THE WESTERLY LINE OF A PARCEL OF LAND ANNEXED TO THE VILLAGE OF HOLMEN, AS DESCRIBED IN DOCUMENT NUMBER 1480454 OF LACROSSE COUNTY RECORDS; THENCE S33°23'07"E, 88.33 FEET ALONG THE WESTERLY LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1480454, TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

CONTAINING 5.618 ACRES

*Richard A. Berg 10-2-2020*

DRAFTED BY: RICHARD A. BERG, PLS #1213



N7735

N7724

Amsterdam-Prairie RD

State Road 35

N7676

2029

2025

2021

2017

County Road XX

2214

Elinor LN

2210

2024

2020

2016

2209

2205

2019

2015

2206

2202

Sierra AVE

2201

2023

Spakenburg RD

2123

2119

2115

2111

2107

2127

2014

# ANNEXATION MAP

PART OF THE NE1/4 OF THE NW1/4, AND PART OF THE NW1/4 OF THE NW1/4 OF SECTION 35, T18N, R8W, AND PART OF THE SE1/4 OF THE SW1/4 OF SECTION 26, T18N, R8W, TOWN OF HOLLAND, LACROSSE COUNTY, WISCONSIN.  
(PARCEL NO. 8-1191-0 AND PART OF 8-1164-0 AND PART OF 8-1187-1)

## TOWN OF HOLLAND

HATCHED LINES DELINEATE VILLAGE OF HOLMEN LIMITS.

STATE HIGHWAY 35

## VILLAGE OF HOLMEN

### TOWN OF HOLLAND

STATE HIGHWAY 35 REFERENCE LINE  
[AS PER D.O.T. PROJECT NO. 50119(3)]

SW1/4, SW1/4, SEC. 26-18-8 8-1164-0

SE1/4, SW1/4, SEC. 26-18-8 8-1164-0

(RA N32°28'34"W)

S33°23'07"E 88.33'

N89°24'55"E, 2629.90'

8-1187-1 S.T.H. 35 R/W

S87°05'34"W, 877.68'

VARIABLE WIDTH R/W

N1/4 CORNER SEC. 35-18-8 BERNTSEN NAIL FOUND

### TOWN OF HOLLAND

S.T.H. 35 R/W

8-1187-1

INNER 15-18-8 2.25" OD PIPE

BE DATA

LINE A-B

DIUS = 652.12'  
CENTRAL ANGLE = 23°52'18"  
CORD BEAR. = N17°19'33"E (RA N18°13'44.5"E)  
CORD LENGTH = 269.74'  
ARC LENGTH = 271.70'

LINE B-C

DIUS = 3,345.10'  
CENTRAL ANGLE = 04°16'06"  
CORD BEAR. = N03°43'08"E  
CORD LENGTH = 249.14'  
ARC LENGTH = 249.20'

LINE C-D

DIUS = 22,920.00'  
CENTRAL ANGLE = 00°53'52"  
CORD BEAR. = S88°34'43"E  
CORD LENGTH = 359.13'  
ARC LENGTH = 359.14'

NW1/4, NW1/4, SEC. 35-18-8

(RA N27°54'26"E)  
N27°05'10"E 63.52'

5.618 ACRES

8-1191-0

### TOWN OF HOLLAND

NE1/4, NW1/4, SEC. 35-18-8

LOT 1, CSM VOL. 19 PG. 55 DOC. NO. 1755451

(PREVIOUSLY PLATTED AS LOTS 6 & 7, BLOCK 9, MCGILVRAY PARK)

LOT 5, BLOCK 9, MCGILVRAY PARK

COUNTY ROAD XX

1/16 LINE

VILLAGE OF HOLMEN

ELINOR LANE

BLOCK 9, MCGILVRAY PARK

BLOCK 8, MCGILVRAY PARK

SIERRA AVENUE

BLOCK 9, MCGILVRAY PARK

### VILLAGE OF HOLMEN

SPAKENBURG ROAD

BLOCK 10, MCGILVRAY PARK

BLOCK 7

SCALE



(RA) = RECORD

DRAFTED BY:  
RICHARD A. I  
& DUSTIN B.  
BERG ENTERP  
300 STATE S  
HOLMEN WI. I  
*Richard*

# HALE SKEMP

EST. HANSON SKEMP & SLEIK 1919  
ATTORNEYS & COUNSELORS AT LAW

100 YEARS

September 21, 2020

Village Clerk  
Village of Holmen  
421 S. Main St.  
P.O. Box 158  
Holmen, WI 54636

Dear Village Clerk:

This letter is to formally request that the Village of Holmen merge together lots 1 and 2 of King's Bluff Estates located in the Village of Holmen. I enclosed herein a Certified Survey Map prepared by Christopher W. Fechner along with a check in the amount of \$110.00; I and would request that the Certified Survey Map be approved by the Holmen Village Board.

I would request being advised as to when this matter will be formally considered by the Village of Holmen Planning Commission.

Very truly yours,

HALE, SKEMP, HANSON, SKEMP & SLEIK



Thomas J. Kieffer  
E-mail address: [tjk@haleskemp.com](mailto:tjk@haleskemp.com)  
TJK/mdm

cc: Jason Hess

enclosures

Quincy H. Hale  
(1919-1987)  
Thomas H. Skemp  
(1936-1977)  
Ernest O. Hanson  
(1941-2007)  
Thomas S. Sleik  
(Emeritus)

Robert C. Skemp  
Roger L. Imes  
James G. Curtis  
Charles E. Hanson  
David B. Russell  
Michael W. Gill\*  
Thomas L. Horvath  
Bryant H. Klos  
Margaret Ahne Herlitzka §  
§ Court Commissioner  
■ Asst. Family Court Commissioner

Kevin J. Roop\*  
Frank M. Doherty\*  
Thomas J. Kieffer  
Craig R. Steger\*  
Sarah E. Fortune  
Garett T. Pankratz\*  
William D. Bolte  
Mason B. Schultz  
Jehona Osmani  
◆ Also Licensed in Iowa  
\* Also Licensed in Minnesota

Paralegals  
Andrea L. Parr  
Melissa L. Pepin  
Sharlene S. Nickelatti  
Ashley R. Olson  
Constance R. Meunier  
Katie A. Anderson  
Melissa J. Nelson

**PETE MEZERA**  
Director of Public Works  
(608) 526-6308

**CHRIS DAHL, P.E.**  
Village Engineer  
(608) 526-6322

**MICHAEL BROGAN**  
Park & Recreation Director  
(608) 526-6318

**ANGELA HORNBERG**  
Clerk / Treasurer  
(608) 526-6302



**421 S. Main Street  
P.O. Box 158  
Holmen, Wisconsin 54636-0158**



**PATRICK J BARLOW**  
Village President  
(608) 526-6307

**SCOTT HEINIG**  
Administrator  
(608) 526-6305

August 18, 2020

Mr. Thomas J. Kieffer  
Hale, Skemp, Hanson, Skemp and Sleik  
505 King Street, Suite 300  
PO Box 1927  
La Crosse, WI 54602-1927

Dear Mr. Kieffer:

The Village of Holmen is in receipt of your August 12, 2020 request to formally "merge together lots 1 and 2 of King's Bluff Estates."

The Village Board has authorized Administrative staff who oversee the zoning and review of subdivision development, the sole authority to approve or deny one or two lot CMS's, as appropriate and as consistent with, the conformance of the Village of Holmen's Zoning Code. Therefore, your request falls within Administrative Review Authority.

The Village of Holmen Planning Commission and Village Board were very diligent in their creation of King's Bluff Estates. The resulting zoning district designations and corresponding preliminary plat therefore, were specifically and intentionally chosen to ensure a quality subdivision and development outcome that would correlate to their chosen vision for that area.

As such, lots 1 and 2 of King's Bluff Estates were specifically and intentionally zoned R-6 Zero Lot Line Two-Family Residential District; wherein it is intended to provide for two single-family residential units attached to each other with zero lot line setbacks on one side with a legal firewall in accordance with the Wisconsin Uniform Building Code. For this reason, R-6 lots will always be approved in sets of two.

Your request to merge lots 1 and 2 (the approved "set of two") into one lot, directly violates the requirements and overall intent of the Village's specifically chosen R-6 Zoning District ordinance that controls these lots, and therefore cannot be given further consideration and as such is hereby denied.

The Village of Holmen will waive the required fees for this review as a complementary show of respect, and will not seek any further payment for processing your request.

Regards,

  
Scott Heinig  
Village Administrator

# HALE SKEMP

EST. HANSON SKEMP & SLEIK 1919

ATTORNEYS & COUNSELORS AT LAW

100 YEARS

August 12, 2020

Village Clerk  
Village of Holmen  
421 S. Main St.  
P.O. Box 158  
Holmen, WI 54636

Dear Village Clerk:

This letter is to formally request that the Village of Holmen merge together lots 1 and 2 of King's Bluff Estates located in the Village of Holmen. I enclosed herein a Certified Survey Map prepared by Christopher W. Fechner, and would request that the Certified Survey Map be approved by the Holmen Village Board. If there are any fees that are required for the consideration of this request, please so advise and I will see that such fee is paid.

I would appreciate being advised as to when this matter will be considered by the Village of Holmen.

Very truly yours,

HALE, SKEMP, HANSON, SKEMP & SLEIK



Thomas J. Kieffer

E-mail address: [tjk@haleskemp.com](mailto:tjk@haleskemp.com)

TJK/mdm

cc: Jason Hess

enclosures

Quincy H. Hale  
(1919-1987)  
Thomas H. Skemp  
(1936-1977)  
Ernest O. Hanson  
(1941-2007)  
Thomas S. Sleik  
(Emeritus)

Robert C. Skemp  
Roger L. Imes  
James G. Curtis  
Charles E. Hanson  
David B. Russell  
Michael W. Gill\*  
Thomas L. Horvath  
Bryant H. Klos  
Margaret Ahne Herlitzka §  
§ Court Commissioner  
■ Asst. Family Court Commissioner

Kevin J. Roop\*  
Frank M. Doherty\*  
Thomas J. Kieffer  
Craig R. Steger\*  
Sarah E. Fortune  
Garrett T. Pankratz\*  
William D. Bolte  
Mason B. Schultz  
Jehona Osmani  
◆ Also Licensed in Iowa  
\* Also Licensed in Minnesota

Paralegals  
Andrea L. Parr  
Melissa L. Pepin  
Sharlene S. Nickelatti  
Ashley R. Olson  
Constance R. Meunier  
Katie A. Anderson  
Melissa J. Nelson





# KING'S BLUFF ESTATES

Located in the NW 1/4 - NE 1/4, NW 1/4 - NE 1/4, SE 1/4 - NE 1/4, NW 1/4 - SW 1/4, SE 1/4 - SW 1/4, NW 1/4 - SE 1/4, SW 1/4 - SE 1/4, Section 26, Township 18N Range 8W, Village of Holman, La Crosse County, Wisconsin

### LEGEND

- FOUND IRON MONUMENT (see image for type)
- SET 1/4" DIA. x 24" LONG IRON ROD 2 X 2 LINENAIL FOOT, UNLESS NOTED OTHERWISE
- SET 3/4" DIA. x 24" LONG IRON ROD 1 1/2 LINENAIL FOOT, UNLESS NOTED OTHERWISE
- D.T.P. DEDICATED TO THE PUBLIC FOR RIGHT OF WAY PURPOSES

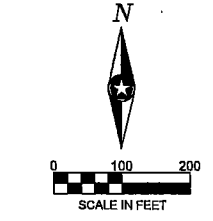
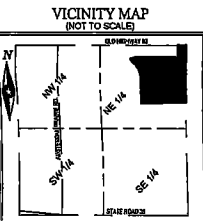
### NOTES

- Per V. 500, P. 235, there exists an electric easement, in favor of Trempealeau Electric Cooperative. This easement is a 30 foot wide easement located in the North 1/2 of the Northeast 1/4 of Section 26. The description for this easement cannot be plotted and is not shown hereon.
- Per V. 560, P. 481, there exists an electric easement, in favor of Trempealeau Electric Cooperative. This easement is located in the NW 1/4 of Section 26. This easement is blank in nature and cannot be plotted.
- Per V. 534, P. 388, there exists an underground electric easement, in favor of Trempealeau Electric Cooperative. This is an 8 foot easement located in the NW 1/4 of the NE 1/4 of Section 26. The description of this easement cannot be plotted and is not shown hereon.
- Per V. 193, P. 200, there exists an easement for the placement of a single garage, in favor of Mississippi Valley Public Services. This easement is located in the NE 1/4 of the NE 1/4 of Section 26. The easement cannot be plotted and is not shown hereon.
- Per V. 815, P. 455, there exists an electric easement, in favor of Trempealeau Electric Cooperative. This easement is located in the SW 1/4 of the SE 1/4 and the E 1/2 of the SW 1/4 of Section 26. This easement is blank in nature and cannot be plotted.
- Per V. 314, P. 481, there exists an electric easement, in favor of Trempealeau Electric Cooperative. This easement is located in the NW 1/4 of Section 26. This easement is blank in nature and cannot be plotted.
- Per V. 221, P. 280, there exists an electric easement, in favor of Trempealeau Electric Cooperative. This easement is located in the NW 1/4 of Section 26. This easement is blank in nature and cannot be plotted.

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	138.88	550.00	17°28'33"	136.51	N89°41'42"W
C2	61.88	130.00	27°16'28"	61.20	S75°47'48"W
C3	54.72	150.00	19°19'18"	54.82	S88°28'41"W
C4	27.18	130.00	11°50'13"	27.11	S83°26'56"W
C5	33.32	70.00	27°18'28"	33.01	S76°47'46"W
C6	67.08	70.00	71°49'55"	62.05	S54°11'00"E
C7	204.12	128.87	89°58'47"	183.76	S44°31'19"W
C8	67.56	130.20	23°34'38"	63.20	S11°18'30"W
C9	85.20	128.38	89°51'04"	87.49	S42°09'11"W
C10	61.36	136.17	27°06'58"	60.74	S78°56'00"W
C11	109.80	70.00	89°57'28"	98.50	S42°07'11"W
C12	110.03	68.00	92°06'48"	99.23	S49°32'41"W
C13	240.20	130.00	92°02'32"	183.82	S49°32'41"W
C14	108.78	68.00	89°53'31"	98.85	N44°31'39"E
C15	302.81	128.87	89°53'31"	183.60	N44°31'39"E
C16	121.57	130.00	17°03'34"	121.11	N88°17'02"E
C17	16.41	128.42	1°42'40"	16.80	N11°02'32"E
C18	28.28	170.00	9°02'24"	28.79	N23°18'15"W
C19	28.28	250.00	6°02'24"	28.25	N33°19'15"W

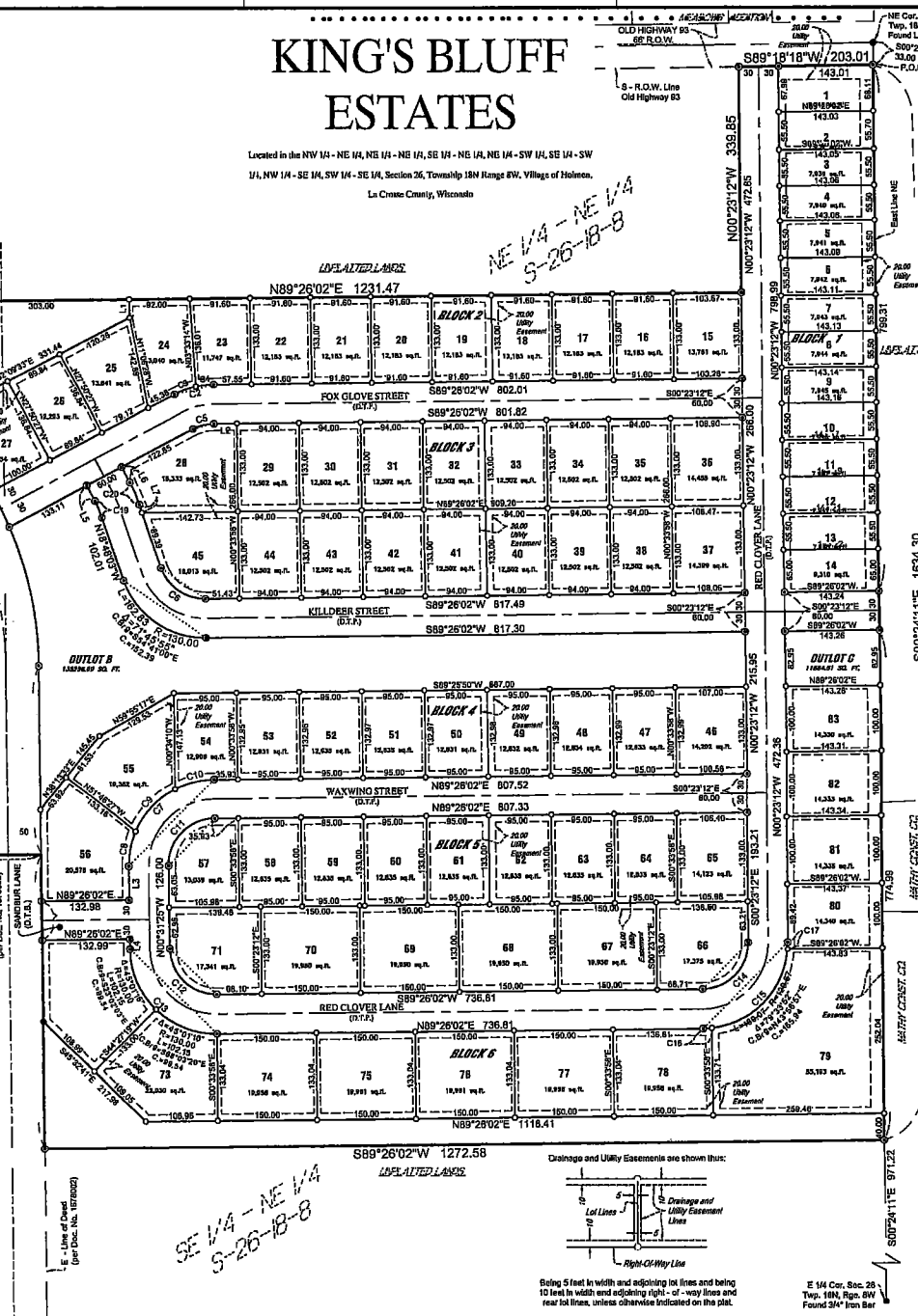
Line #	Length	Bearing
L1	27.77	N0°37'09"W
L2	34.83	N89°20'02"E
L3	61.10	N0°31'25"W
L4	14.80	N0°31'39"E
L5	28.55	N27°52'27"W
L6	28.55	N27°52'27"W
L7	12.82	N18°48'03"W

**DRAFT**  
NOTE: Boundary/track/lot changes have not been performed and some dimensions may vary on final draft.



**BEARING NOTE:**  
The orientation of this bearing system is based upon the north line of the NE 1/4 of Sec. 26, Twp. 18N, Rge. 8W. Said line bears North 89 degrees 18 minutes East.

SEC. 26, TWP. 18N, RGE. 8W  
La Crosse County, Wisconsin



### OWNER'S CERTIFICATE

As owner, I hereby certify that I caused the land described on this plat to be surveyed, divided mapped and dedicated as represented on the plat. I also certify that this plat is required by s.238.10 or s.238.12 to be submitted to the following for approval or objection:

- Village of Holman
  - Wisconsin Department of Administration
- Witness the hand and seal of said owner this \_\_\_\_\_ day of \_\_\_\_\_, 2018

Judith McHugh, Owner

State of Wisconsin )  
County of La Crosse ) SS  
Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named Judith McHugh to me known to be the same person who executed the foregoing instrument and acknowledged the same.

### VILLAGE BOARD CERTIFICATE

Resolved, that the plat of King's Bluff Estates Subdivision in the Village of Holman is hereby approved by the Village board.

Date \_\_\_\_\_  
Approved \_\_\_\_\_  
Village Chair

Date \_\_\_\_\_  
Signed \_\_\_\_\_  
Village Chair

### CERTIFICATE OF VILLAGE TREASURER

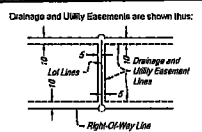
I, \_\_\_\_\_, being the duly (elected) (appointed) qualified and acting village treasurer of the Village of Holman, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this day of \_\_\_\_\_, 2018 on any of the land included in the plat of King's Bluff Estates.

### SURVEYOR'S CERTIFICATE

I, James R. Osborne, professional land surveyor, hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivisions regulations of the Village of Holman, and under the direction of Judith McHugh, I have surveyed, divided and mapped King's Bluff Estates; that each plot correctly represents all exterior boundaries and the subdivisions of the land surveyed; and that this land is located in the NE 1/4 - NE 1/4, NW 1/4 - NE 1/4, NW 1/4 - NE 1/4, NW 1/4 - NE 1/4 - SW 1/4, SE 1/4 - SW 1/4, NW 1/4 - SE 1/4, SW 1/4 - SE 1/4, Section 26, Township 18N, Range 8W, Village of Holman, La Crosse County Wisconsin, containing 259.10 acres of land described as follows:

Commencing at the northeast corner of said Section 26, thence South 00 degrees 24 minutes 11 seconds East, assumed bearing, on the east line of the Northeast Quarter of said Section, 33.00 feet to the south right of way line of Old Highway 83, said point being the point of beginning; thence continue South 00 degrees 24 minutes 11 seconds East, 1634.30 feet; thence South 89 degrees 28 minutes 02 seconds West, 1272.58 feet to the East line of those lands described in Document Number 1878002, La Crosse County; thence North 00 degrees 31 minutes 07 seconds West on said East line, 440.05 feet to the northeast corner of said Document; thence North 00 degrees 31 minutes 02 seconds West, 287.80 feet; thence 417.14 feet northwesterly along a tangential curve, concave to the southeast, having a radius of 550.00 feet, central angle of 63 degrees 27 minutes 18 seconds, chord bearing of North 22 degrees 15 minutes 04 seconds West and a chord distance of 407.21 feet; thence North 43 degrees 58 minutes 45 seconds West, 123.07 feet; thence 71.31 feet northwesterly along a tangential curve, concave to the northeast, having a radius of 450.00 feet, central angle of 08 degrees 04 minutes 45 seconds, chord bearing of North 39 degrees 28 minutes 21 seconds West and a chord distance of 71.23 feet; thence North 79 degrees 22 minutes 25 seconds East, 125.78 feet; thence North 89 degrees 28 minutes 02 seconds East, 1231.47 feet; thence North 00 degrees 23 minutes 12 seconds West, 338.83 feet to said south right of way line; thence North 89 degrees 18 minutes 18 seconds East on said south line, 206.01 feet to the point of beginning.

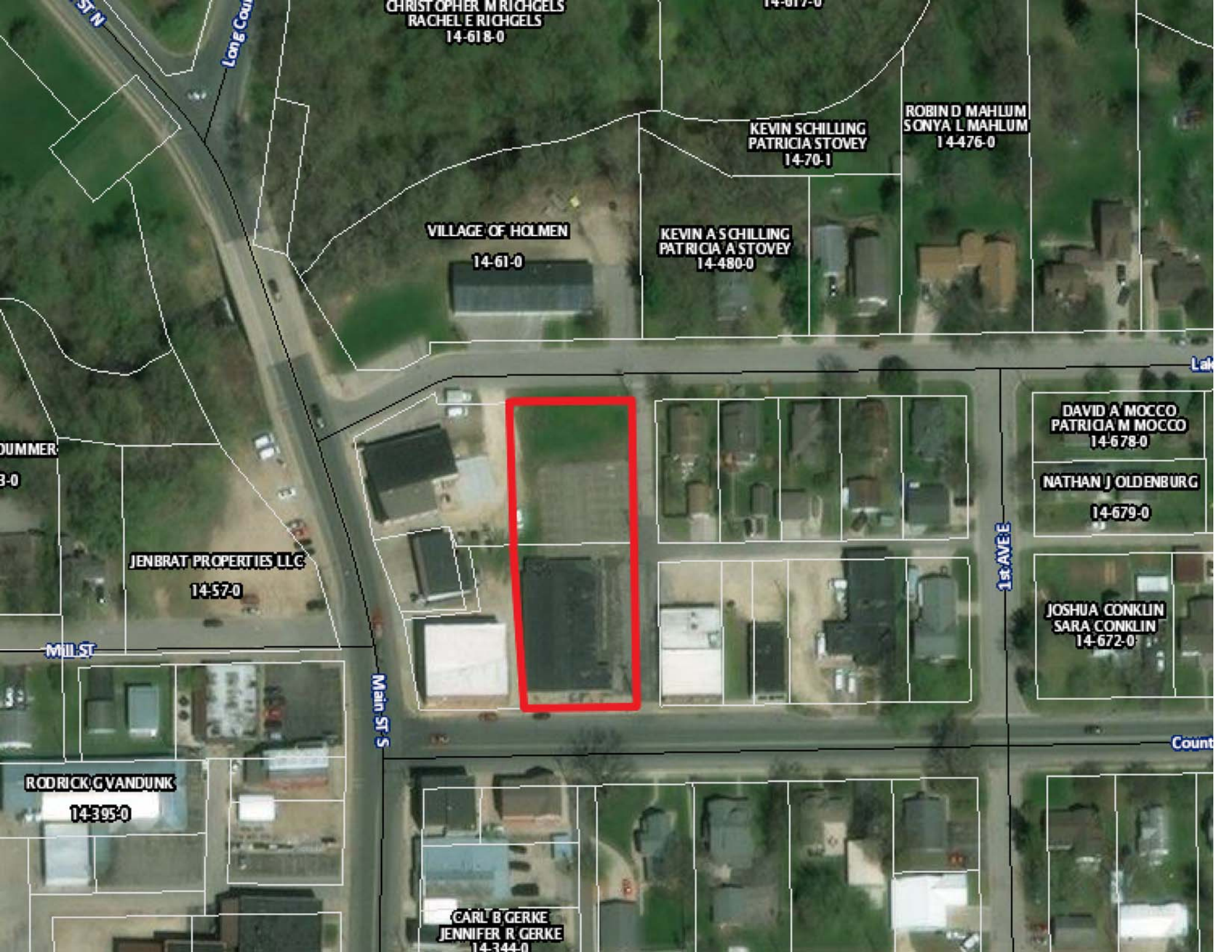
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2018. PLS No. 3068-8



Being 5 feet in width and adjoining lot lines and being to level in width and adjoining right-of-way lines and rear lot lines, unless otherwise indicated on the plat.

E 1/4 Cor. Sec. 26  
Twp. 18N, Rge. 8W  
Found 3/4" Iron Bar





CHRISTOPHER M RICHGELS  
RACHEL E RICHGELS  
14-618-0

KEVIN SCHILLING  
PATRICIA STOVEY  
14-70-1

ROBIN D MAHLUM  
SONYA L MAHLUM  
14-476-0

VILLAGE OF HOLMEN  
14-61-0

KEVIN A SCHILLING  
PATRICIA A STOVEY  
14-480-0

DAVID A MOCCO  
PATRICIA M MOCCO  
14-678-0

NATHAN J OLDENBURG  
14-679-0

JOSHUA CONKLIN  
SARA CONKLIN  
14-672-0

JENBRAT PROPERTIES LLC  
14-570

RODRICK G VANDUNK  
14-395-0

CARL B GERKE  
JENNIFER R GERKE  
14-344-0

Long Court

Main St S

1st Ave E

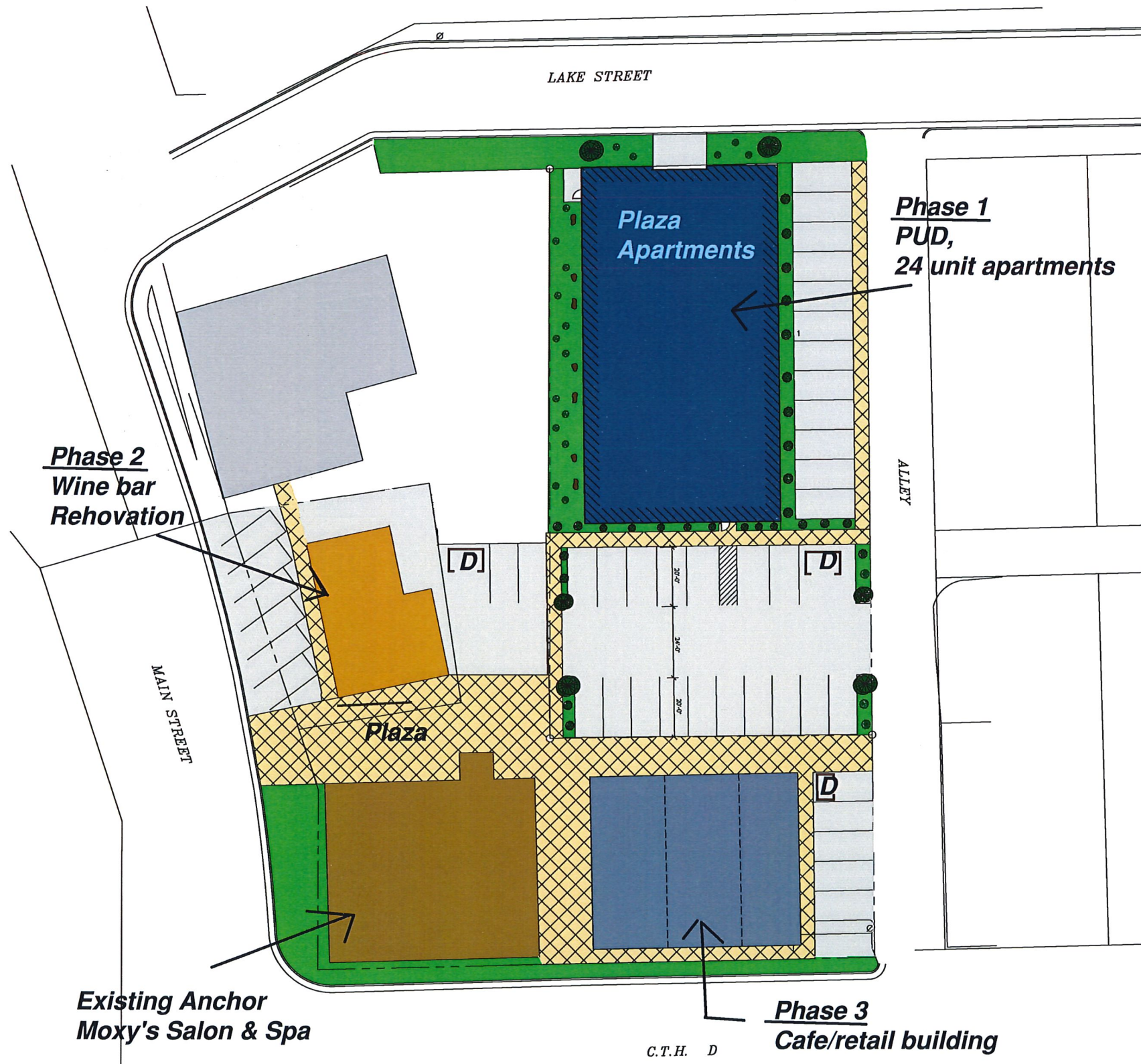
Mil St

Count

Lak

# Holmen Plaza Concept Vision

## Holmen, WI



### Holmen Plaza Concept Vision

The Holmen Plaza is a multi-use development for the village of Holmen consisting of :

- 3 Phases - Anchored around existing salon
  - Phase 1- housing
  - Phase 2- wine bar conversion
  - Phase 3- cafe/retail
- An exterior lighted plaza with seating, plantings, connecting & promoting all 4 business types.
- Development establishing an urban hub as a diverse destination.
- A vehicle for cross promotion of businesses and ideas.
- Exciting, creative land use for future village development.
- Coordinated and shared parking for all business.
- Similar materials & accent colors throughout development

### LANDSCAPE LEGEND

- ① KARL FORRESTER
- ② RED SWITCH GRASS
- ③ BUSHES - SPIREA DOUBLE PLAY GOLD
- ④ PERENNIAL BEDS - LAMIUM (DEAD NETTLE) FOR BORDERS
- ⑤ PURPLE CONE FLOWER SPIREA
- ⑥ TREE - JAPANESE LILAC
- ⑦ TREE - DOWNY SERVICEBERRY

## Holmen Plaza Concept Plan

**Holmen Plaza Concept Vision**  
**Holmen, WI**

9/9/2020

  
**MBA Project Management**  
 N5560 CTH ZM Suite #3  
 Onalaska, WI 54650  
 608-785-2760

CV-1

# Holmen Plaza Concept Vision

## Holmen, WI

Phase 1 - PUD Plaza Apartments



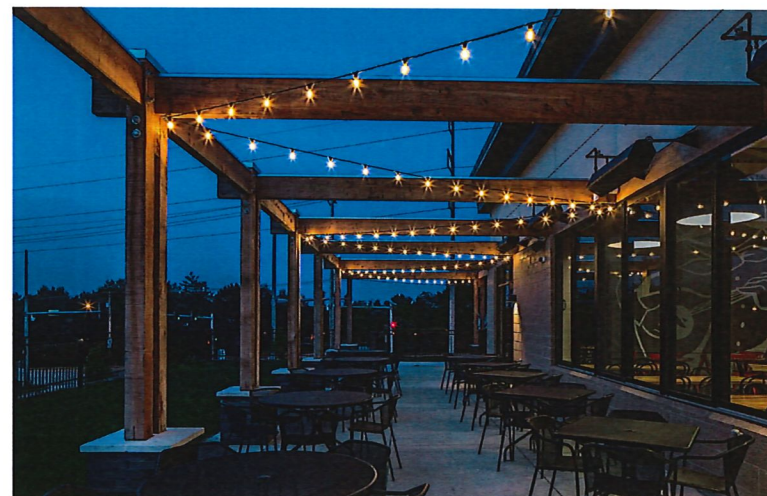
Phase 2 - Wine Bar Renovation



Phase 3 - Cafe / Retail



Existing Anchor Business  
Moxy Salon & Spa



### Concept Story Board

Holmen Plaza Concept Vision  
Holmen, WI

9/9/2020

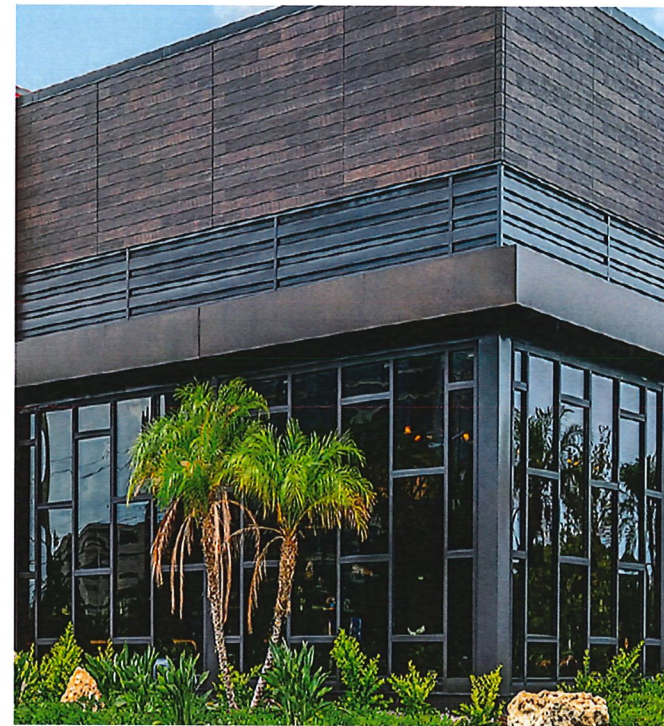
**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

# Holmen Plaza Concept Vision

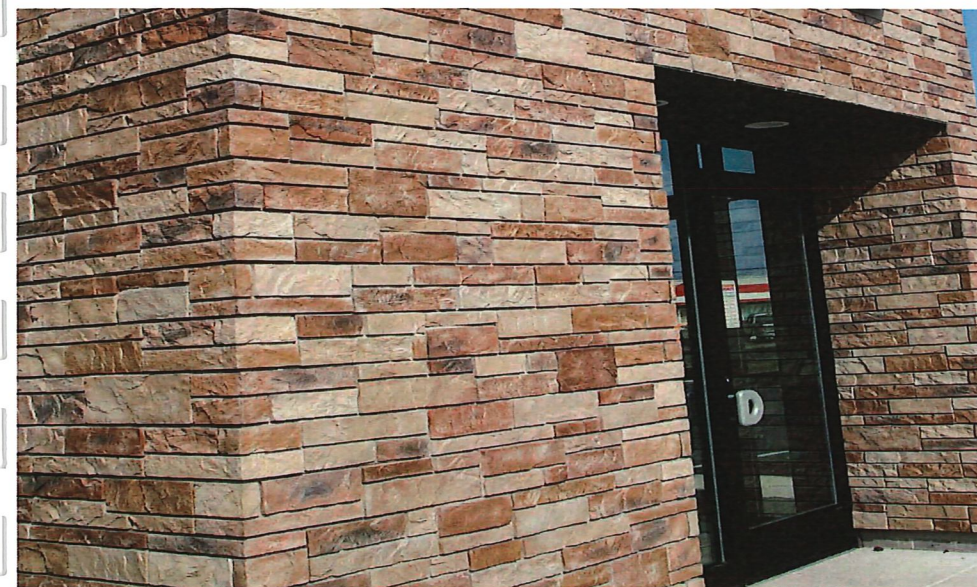
## Holmen, WI



**Mc Elroy Vertical Siding  
Colonial Red**



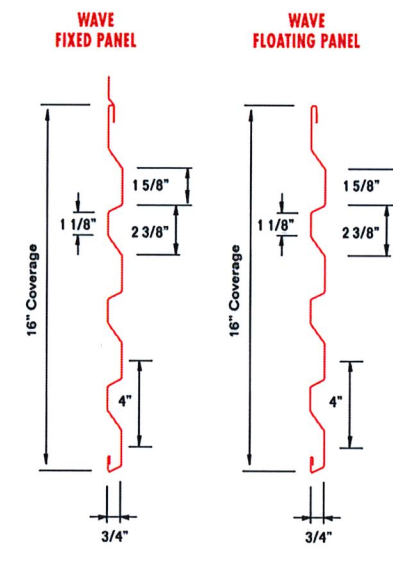
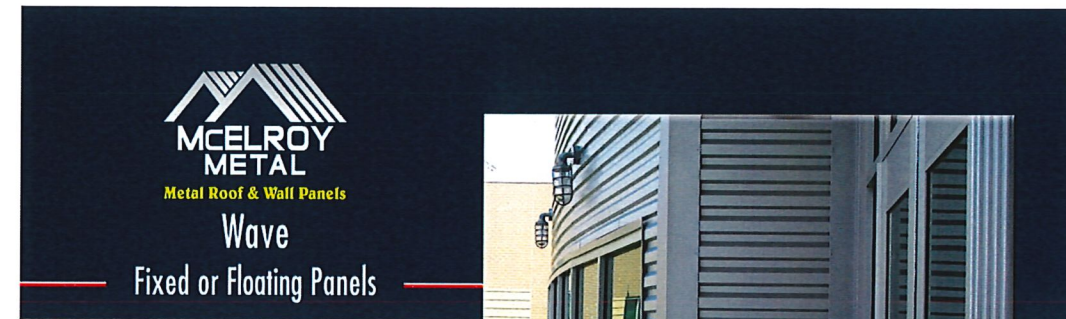
**Nichiha Woodlook Panel  
(RS) Espresso**



**Nichiha Stone Panel**



**Stamped Colored Concrete  
Plaza Paving**



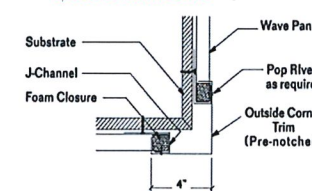
Available in both fixed and floating systems, McElroy Metal's Wave panels are concealed fastener wall panels that can be installed vertically or horizontally over solid substrate or subframing. Wave Fixed is installed with Wave's integral fastening flange which is roll formed into the panel during the manufacturing process and can be utilized for panels length 40' or less. Wave Floating panels utilize separate clips and should be specified for panel lengths 40' or greater.

**PRE-NOTCHED WAVE FLASHING**

Wave pre-notched transition flashings allow for thermal expansion and contraction while providing an attractive finishing detail. Pre-notched corner flashing is also available.



**OUTSIDE CORNER DETAIL**

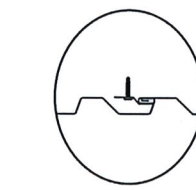


**DETAIL:**  
Can be installed over solid deck or open framing

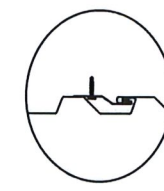
**SUBSTRATE:**  
- Standard 24 gauge Galvalume®  
- Optional 22 gauge Galvalume

**TESTING:**  
Uplift: ASTM E1592

**COATING:**  
Kynar 500® PVDF



**WAVE FIXED SEAM ENGAGEMENT**



**WAVE FLOATING SEAM ENGAGEMENT**

(SUBSTRATE & FOAM CLOSURES NOT SHOWN FOR CLARITY)

For more information:  
800-562-3576

CORPORATE OFFICE • 1500 HAMILTON RD. • BOSSIER CITY, LA 71111  
Website: [www.mcelroymetal.com](http://www.mcelroymetal.com) • E-mail: [info@mcelroymetal.com](mailto:info@mcelroymetal.com)

**MC Elroy Horizontal Siding  
Silver Metallic**

# Holmen Plaza Apartment Materials

Holmen Plaza Concept Vision  
Holmen, WI

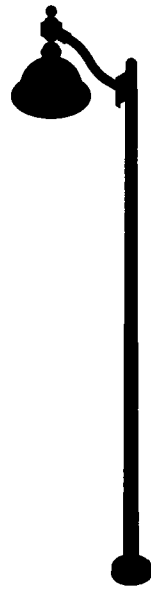
9/9/2020

**MBA** Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

CV-3

# Holmen Plaza Concept Vision

## Holmen, WI



**SternbergLighting**  
ESTABLISHED 1923 / EMPLOYEE OWNED

88 Levenson Avenue | Roselle, IL 60172 | (708) 417-8833 | www.sternberglighting.com  
CONCEPTUAL ASSEMBLY DRAWING, SUBJECT TO ENGINEERING VERIFICATION BY THE FACTORY

**ARM NUMBER OF ARMS:**

Number of Arms: One Arm (1)

**ARM ARM MOUNTED FIXTURE:**

(S2) Omega decorative downlight fixture features a spun aluminum ball styled shade with a flared or rounded edge. An aluminum casting is attached to the upper portion of the ball shade to allow coupling to multiple arms. Fixture features sealed and rotatable optics. Available with flat, sag, clear or frosted glass.

Shade Style & Flared (F) (F)

Mounting:

**LIGHT SOURCE:**

Array: 24 LEDs, 90W for MD\_014 (24L)  
Color Temp: 4000K (40)  
Distribution: Type 4 (14)  
Driver: MSLV108 Dimmable Low-Range Driver, 120-277V, 140mA (MDL014)  
Lens: Flat Glass (FG)

**OPTIONS:**

Hangestyle: Horizontal HS Ball Final (HSHB)

**ARM:**

Roadway style arm for downlight fixtures. Length of arm is 2'. All aluminum alloy construction.

**POLE:**

The 10-1/2" diameter cast 356 aluminum alloy base and aluminum shaft shall be a one-piece construction. For fixtures using remote ballasts or drivers, the servicing of these components requires pulling the pole. The pole shall be U.L. or E.T.L. listed in U.S. and Canada. All pole heights to have a tolerance of ± 2".

Model: 450 Lexington (450)  
Shaft Type: Smooth Tapered 4-3 Inch, 6063-T8 Aluminum Alloy (T4-3)  
Height: 14 FT (14)  
Offset: 0.125" (125)

**POLE CAP:**

BCC3 Pole Cap, 4" Ball

**FINISH:**

Assembly shall be powder coated to Black Smooth finish. Prior to coating, the assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing, and non-chrome sealing to ensure corrosion resistance.

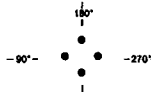
**Wind Load Evaluation**

This assembly, as configured, MEETS AASHTO requirements for wind loading.

Wind Speed: 90 mph

Gust Factor: 1.14

Arms and Accessory  
CAZ Orientation: 180°

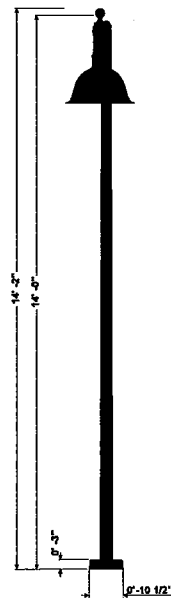
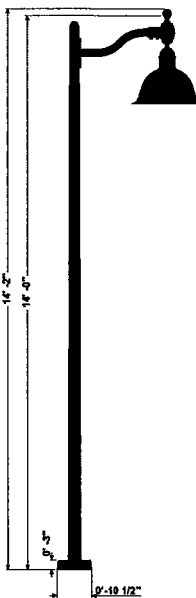


(4) 1/2" x 18" Anchor Bolts, 8" Bolt Circle, Diamond pattern

Access Door Orientation: 0°  
Steel Side Orientation: 180°

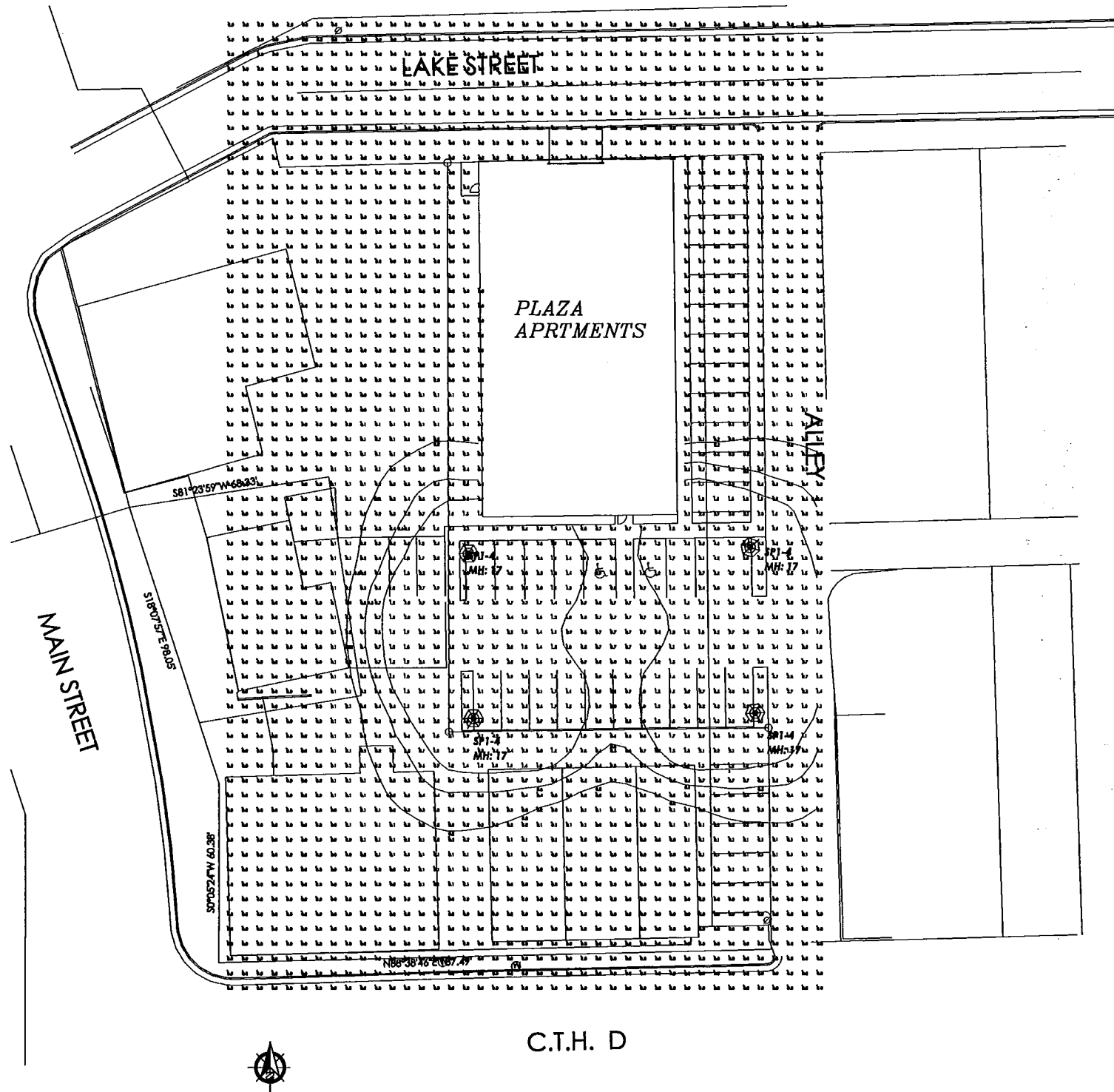
**SternbergLighting**  
ESTABLISHED 1923 / EMPLOYEE OWNED

88 Levenson Avenue | Roselle, IL 60172 | (708) 417-8833 | www.sternberglighting.com  
CONCEPTUAL ASSEMBLY DRAWING, SUBJECT TO ENGINEERING VERIFICATION BY THE FACTORY



Catalog Number: 1A-1521LED-F-24L-40T-4MD-014-FG-HSHB / CAZ / 450T-314-125 / BCC4 / BK

Catalog Number: 1A-1521LED-F-24L-40T-4MD-014-FG-HSHB / CAZ / 450T-314-125 / BCC4 / BK



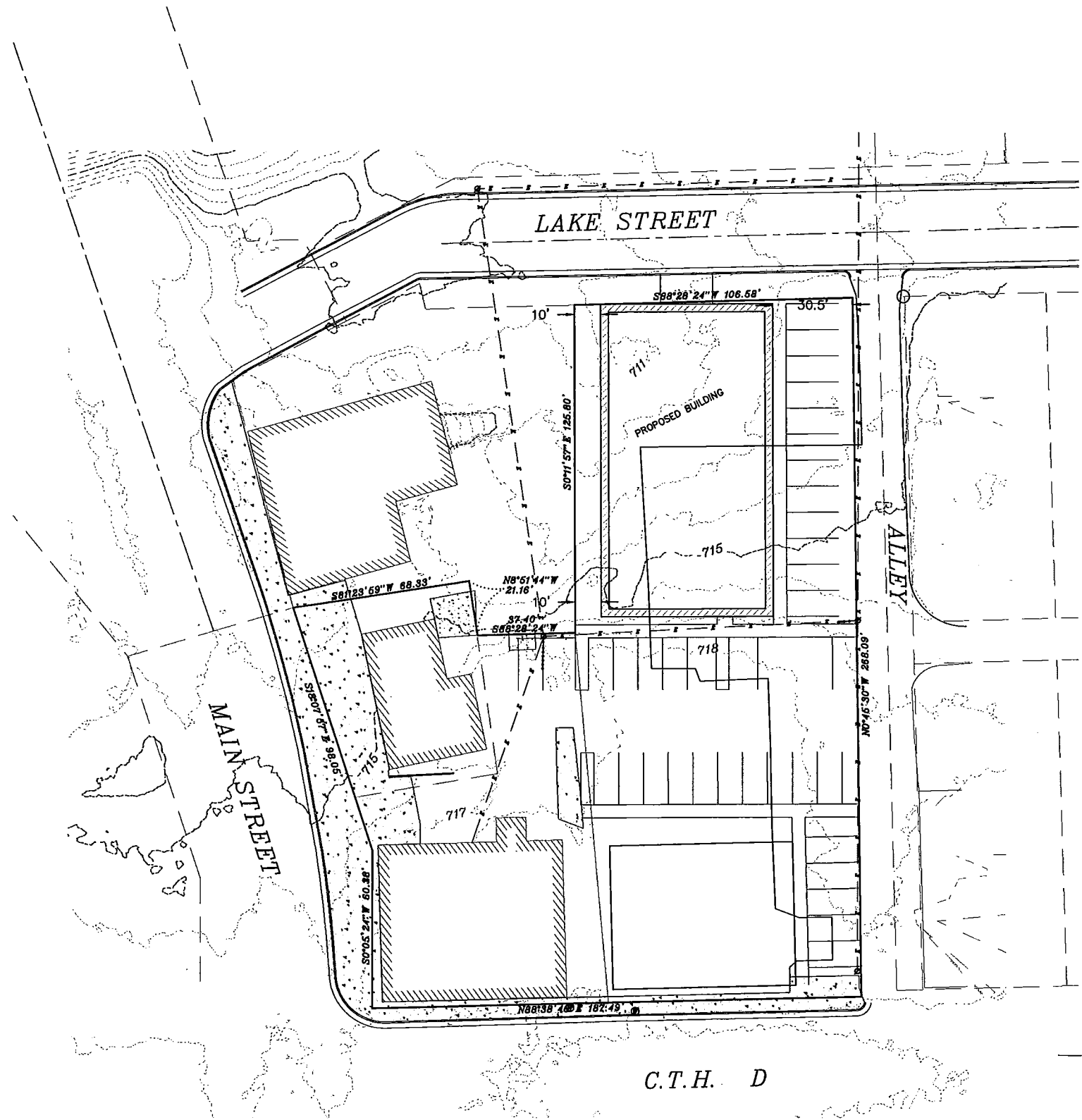
### Photometric site Plan

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

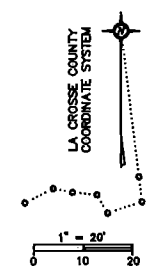
CV-4

# Holmen Plaza Concept Vision

## Holmen, WI



C.T.H. D



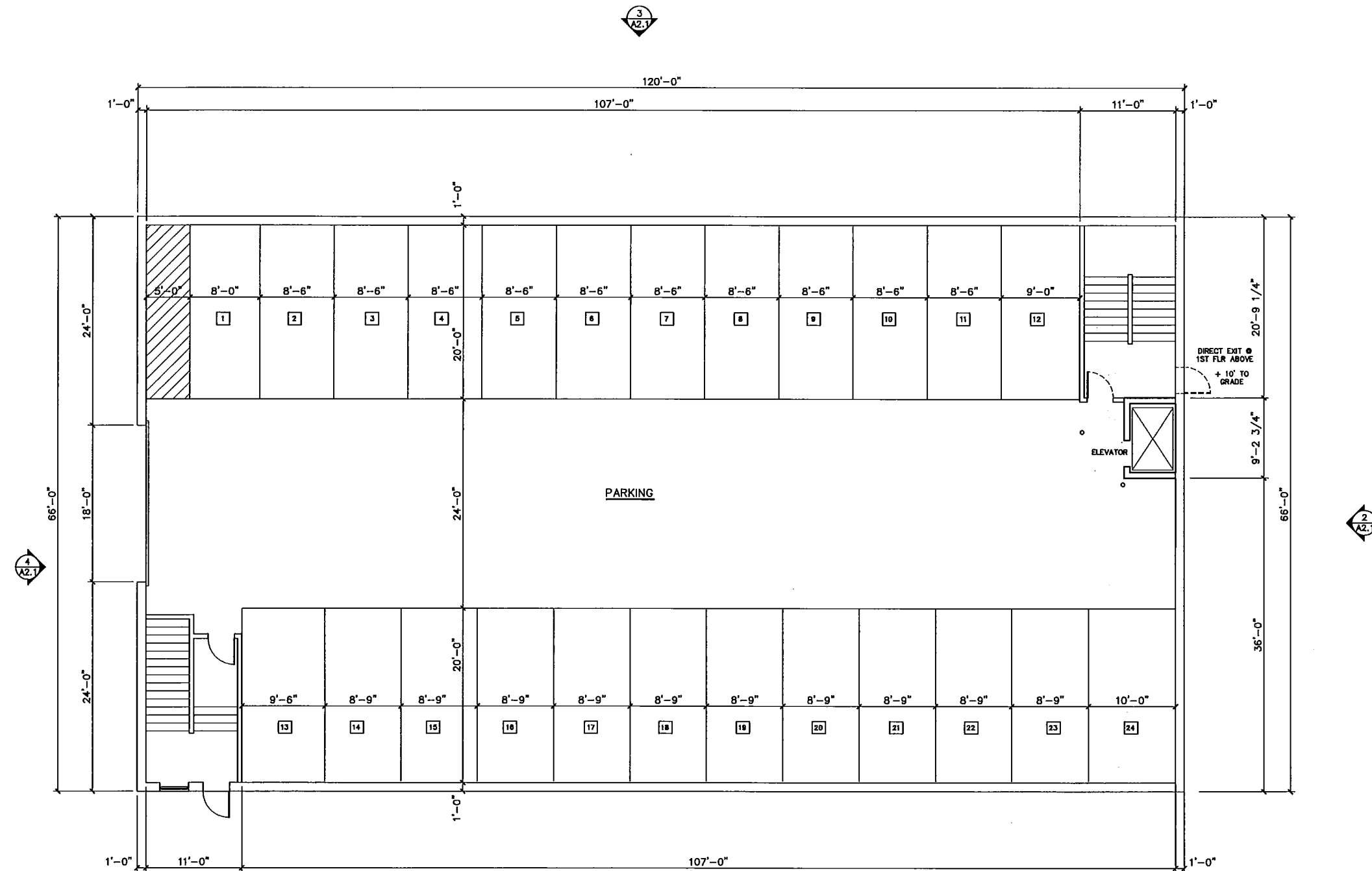
- LEGEND
- FOUND 1" IRON PIPE
  - EXISTING UNDERGROUND ELECTRIC
  - WATER SHUT OFF

**Site Plan**

**MBA**  
**MBA Project Management**  
 N5560 CTH ZM Suite #3  
 Onalaska, WI 54650  
 608-785-2760

# Holmen Plaza Apartments

## Holmen, WI



1  
A1.0 LOWER LEVEL PARKING  
1/8" = 1'-0"



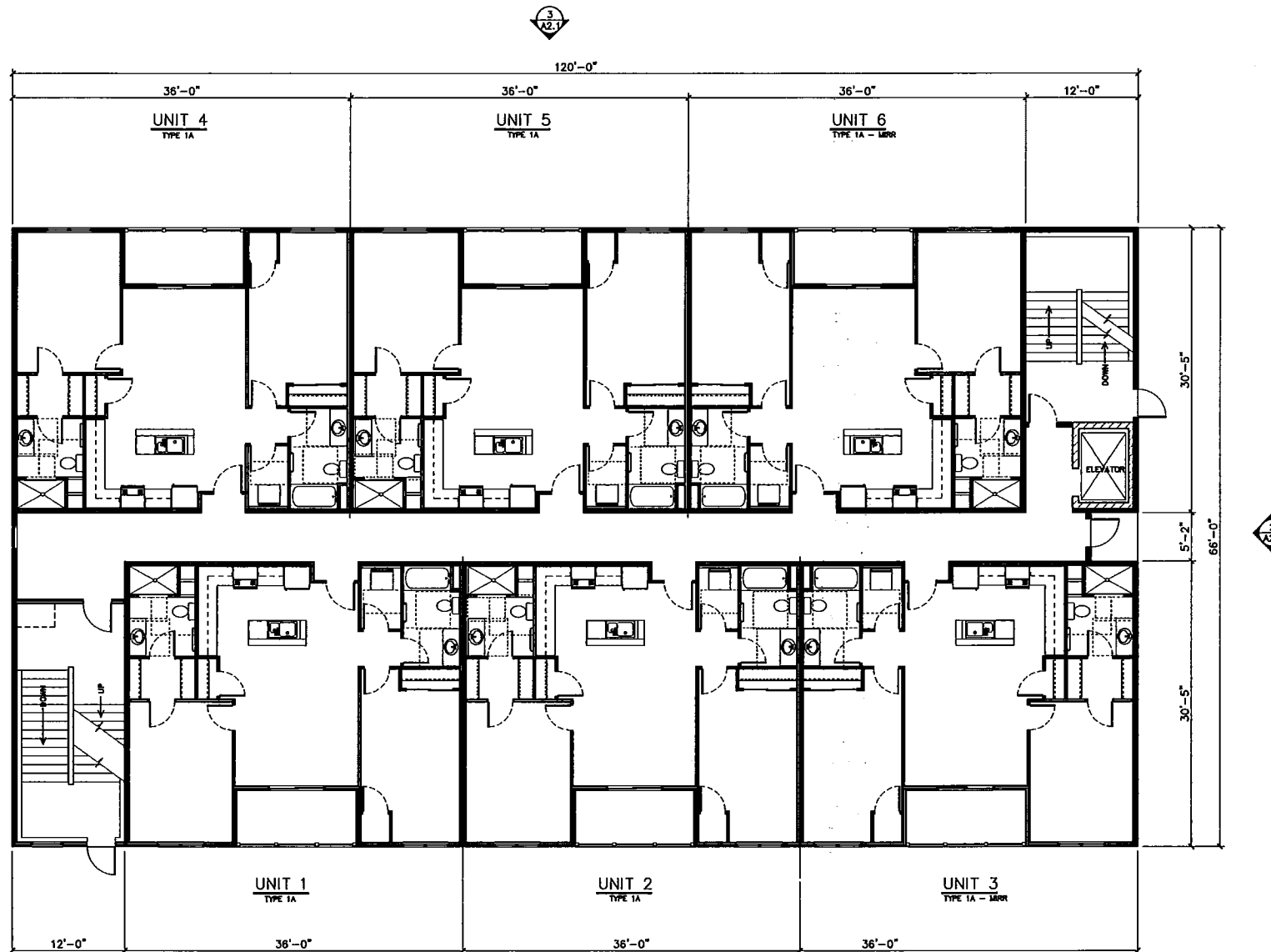
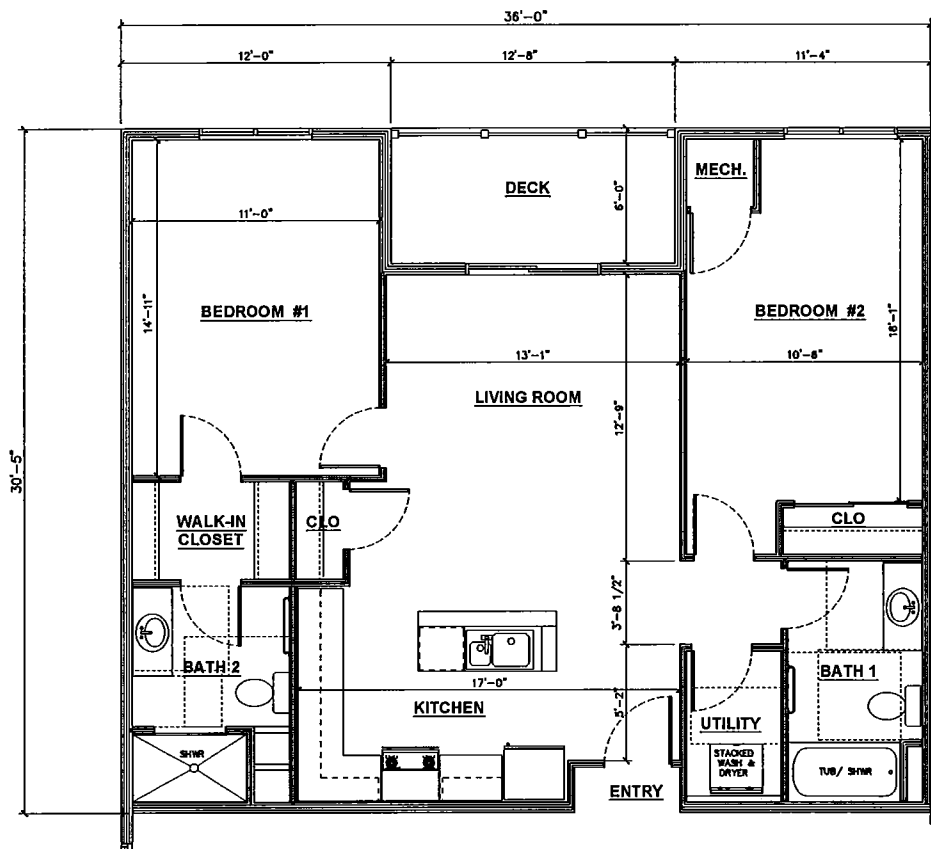
### Lower Level Parking

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

**A1.0**

# Holmen Plaza Apartments

## Holmen, WI



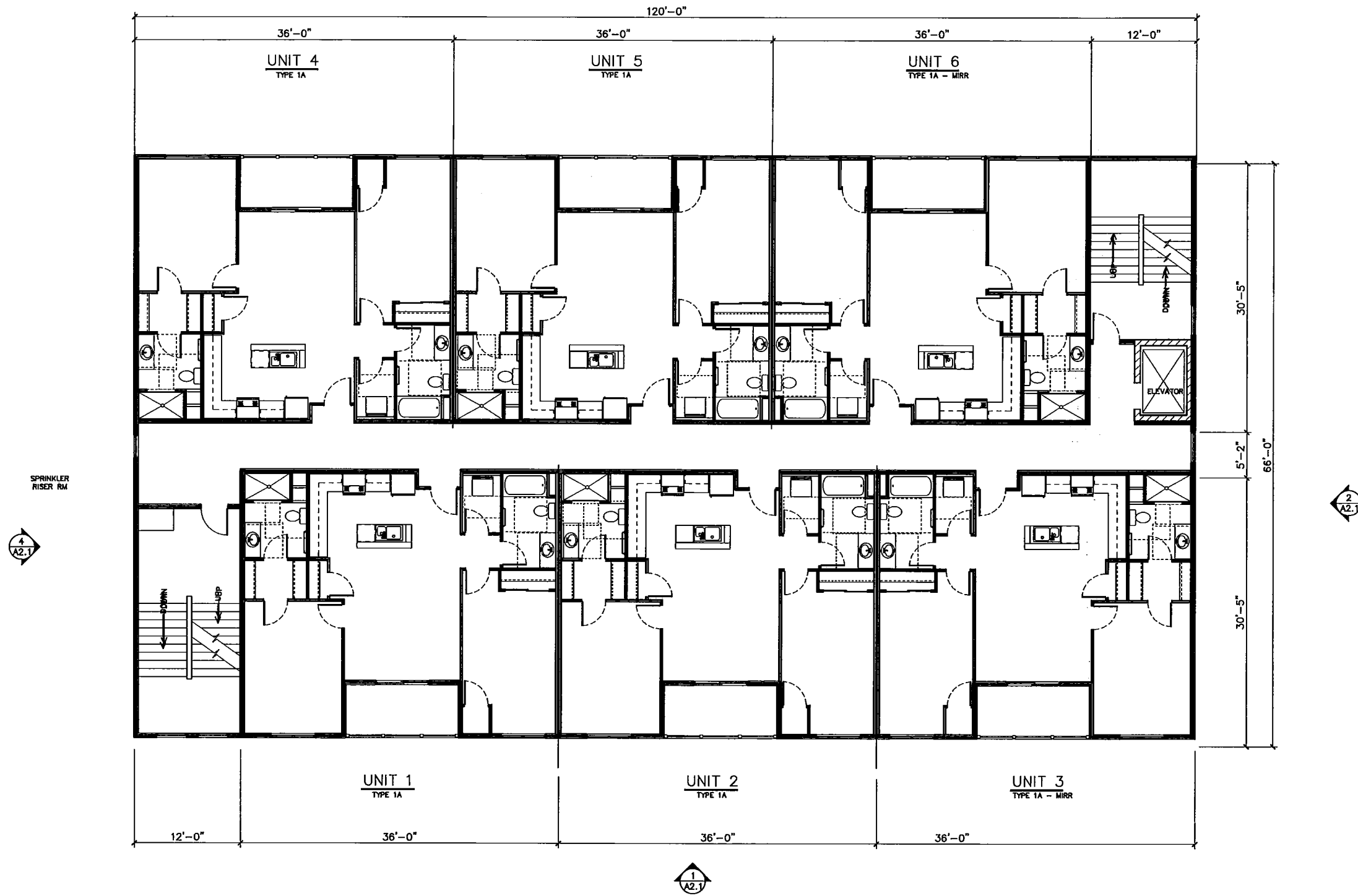
### First Floor Plan

**MBA**  
 MBA Project Management  
 N5560 CTH ZM Suite #3  
 Onalaska, WI 54650  
 608-785-2760

A1.1

# Holmen Plaza Apartments

## Holmen, WI



1 OVERALL SECOND, THIRD & FOURTH FLOOR PLAN  
 1/8" = 1'-0"

### 2nd thru 4th Floor Plans

**MBA**  
 MBA Project Management  
 N5560 CTH ZM Suite #3  
 Onalaska, WI 54650  
 608-785-2760

**A1.2**

# *Holmen Plaza Apartments*

*Holmen, WI*



*Holmen Plaza Apartments*  
*Holmen, WI*

9/9/2020

*Exterior Elevations*

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

**A2.1**

# *Holmen Plaza Apartments*

*Holmen, WI*



*Exterior Elevations*

*Holmen Plaza Apartments*  
*Holmen, WI*

9/9/2020



**MBA Project Management**  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

**A2.2**

# *Holmen Plaza Apartments*

*Holmen, WI*



*Exterior Elevations*

*Holmen Plaza Apartments*  
*Holmen, WI*

9/9/2020

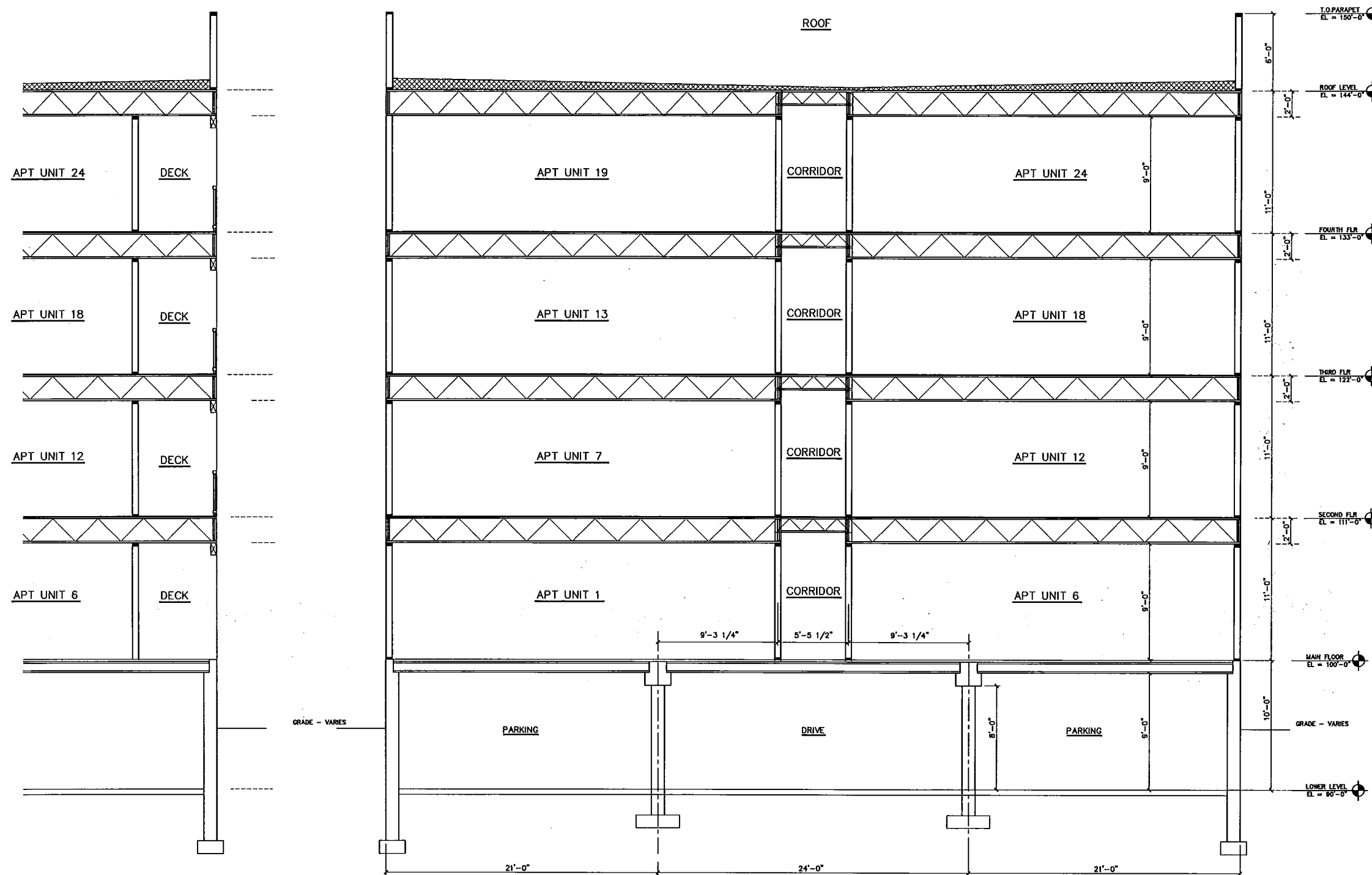


**MBA Project Management**  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

**A2.3**

# Holmen Plaza Apartments

## Holmen, WI



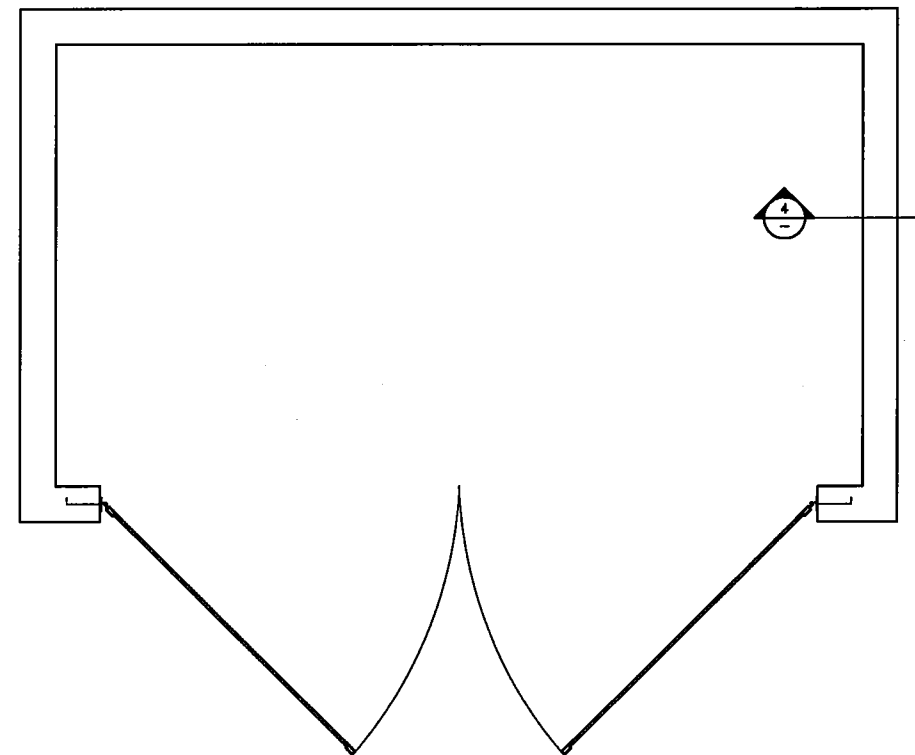
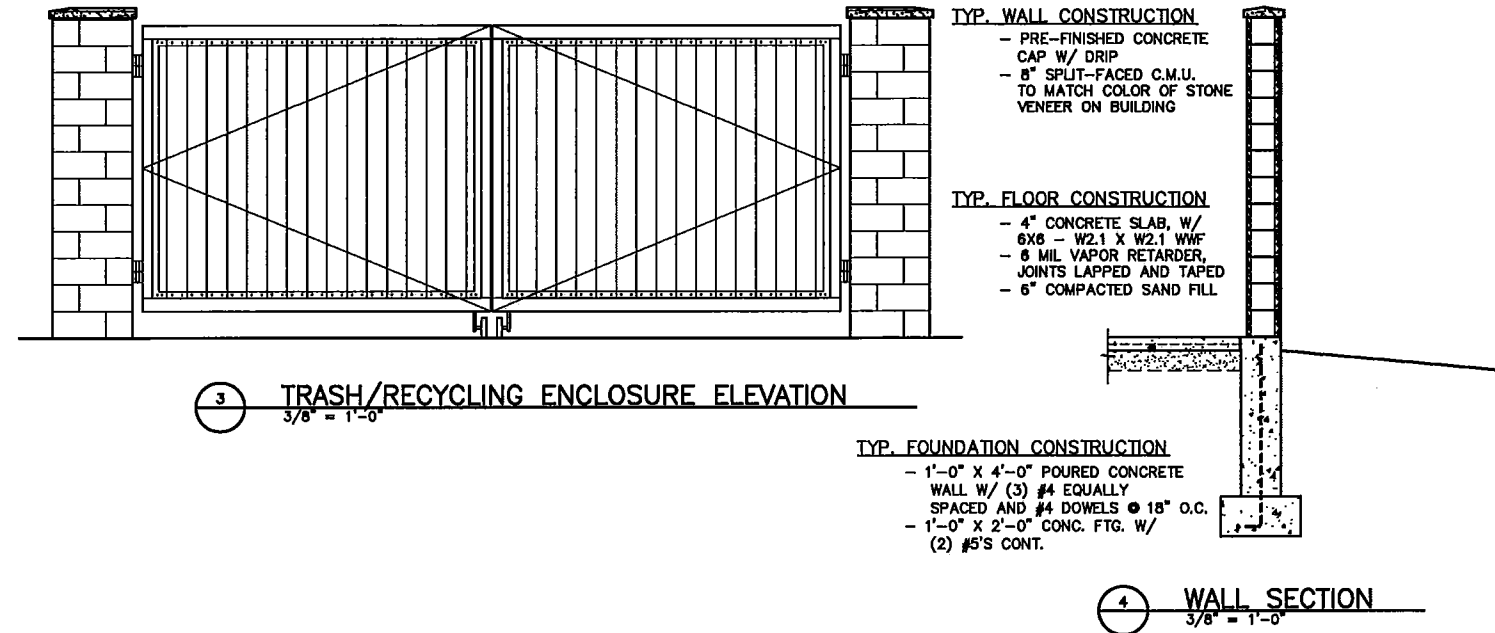
1 BUILDING SECTION  
A3.1 1/8" = 1'-0"

### Building Sections

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

# Holmen Plaza Apartments

## Holmen, WI



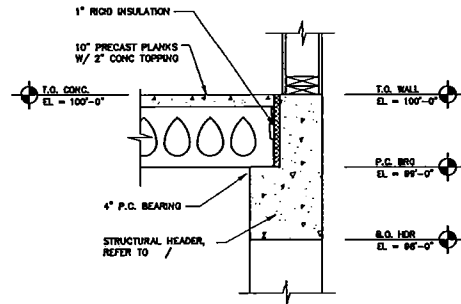
### Trash Enclosure



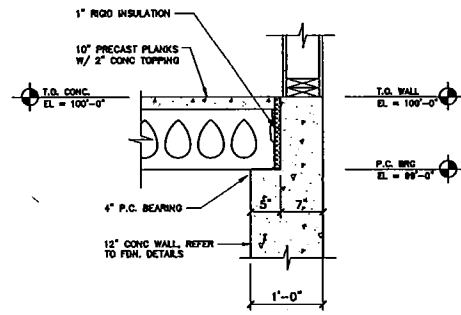
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

# Holmen Plaza Apartments

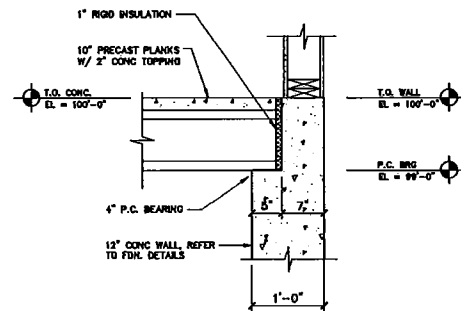
## Holmen, WI



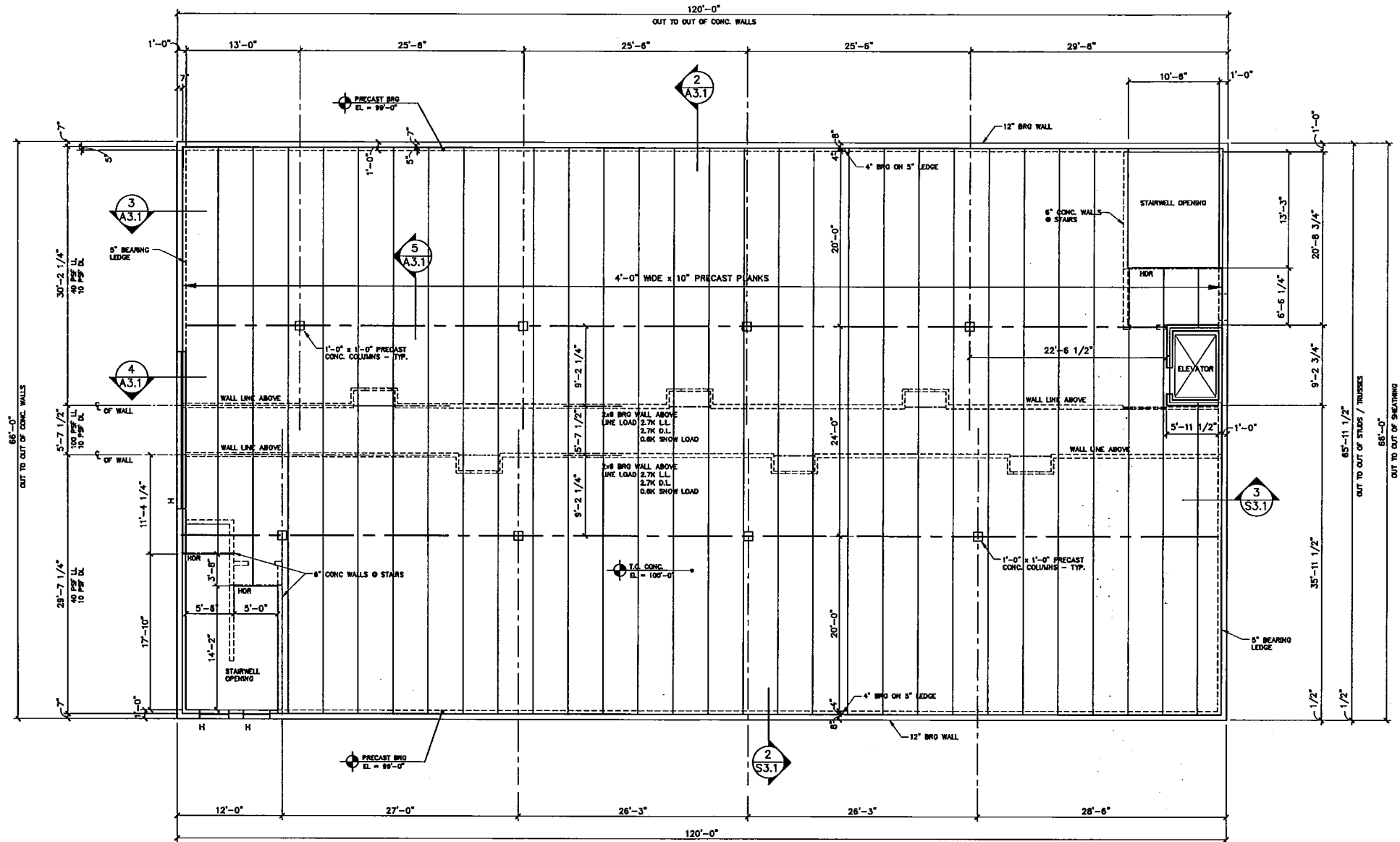
4 PRECAST BRG. DETAIL  
S3.1 3/4" = 1'-0" O.H. DOOR HDR



3 PRECAST BRG. DETAIL  
S3.1 3/4" = 1'-0" PARALLEL WALL



2 PRECAST BRG. DETAIL  
S3.1 3/4" = 1'-0"



1 PRECAST FRAMING PLAN  
S3.1 1/8" = 1'-0"

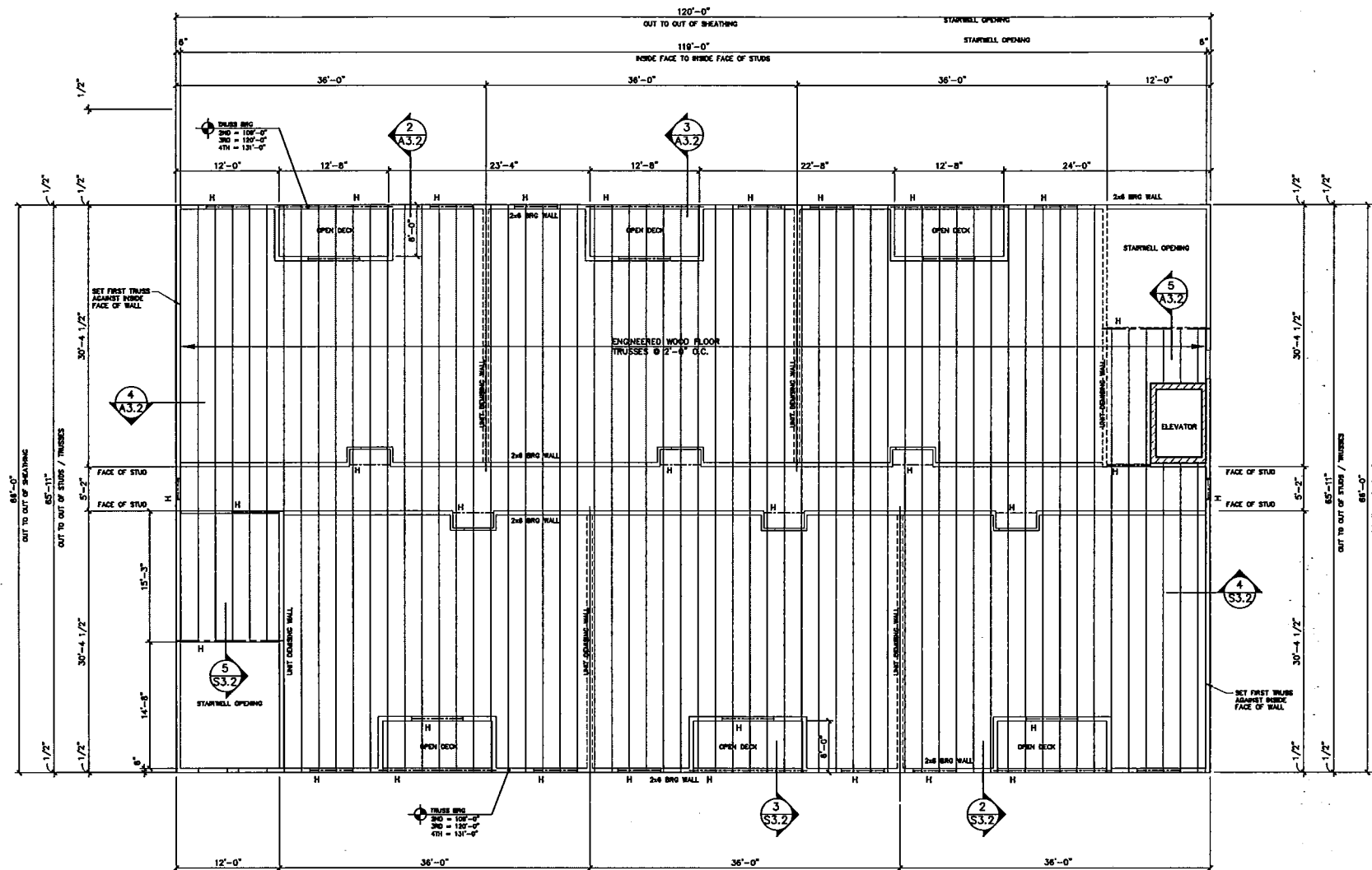
# Structural Framing Plan

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

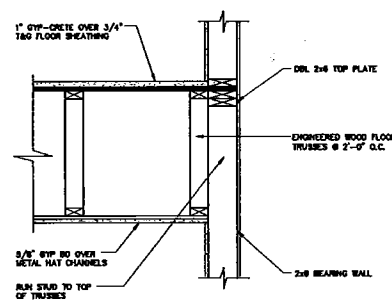
S3.1

# Holmen Plaza Apartments

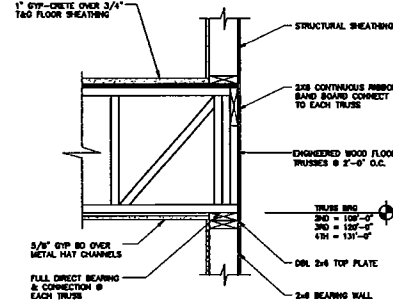
## Holmen, WI



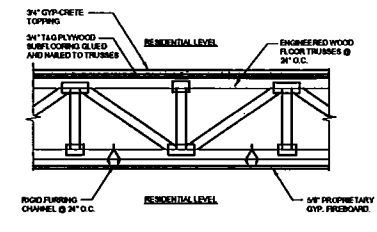
1 FLOOR FRAMING PLAN  
S3.2 1/8" = 1'-0"



2 FRAMING DETAIL  
S3.1 3/4" = 1'-0" @ PARALLEL WALL



3 FRAMING DETAIL  
S3.1 3/4" = 1'-0"



BEARING FLOOR TRUSS  
1" = 24"  
1-HOUR UL # L528

**GENERAL NOTES:**

1. FIELD VERIFY ALL CONDITIONS, OBSERVE ALL STATE, LOCAL CODES, AND O.S.I.A. STANDARDS
2. VERIFY ALL ROOF PENETRATIONS WITH RESPECTIVE TRADES AND PROVIDE ALL REQUIRED THRU ROOF EXTENSIONS MIN. OF 12" ABOVE FINISHED ROOF. PROVIDE ALL RELATED CURBS, PIPE BOOTS AND FLASHINGS AS REQUIRED FOR A WEATHERTIGHT FINISH.
3. REFER TO SITE PLAN AND STORM WATER DESIGN FOR PIPING AND CONNECTIONS OF ROOF DRAINS.

**FLOOR FRAMING KEYNOTES**

1. ENGINEERED WOOD ROOF TRUSSES SET @ 2'-0" O.C. SLOPE TOP CHORD @ 1/4" PER FT. PROVIDE ALL REQUIRED BRACING AND BLOCK PER TRUSS DESIGN DRAWINGS.
2. NEW 6" POLYISOCYANURATE INSULATION W/ 100 MIL EPDM ROOFING MEMBRANE, NEAR MEMBRANE UP AND OVER TOP OF PARAPET WALLS PARAPET WALLS.
3. ROOF DRAIN W/ INTERNAL LEADERS
4. COORDINATE ROOF TOP UNITS WITH MECHANICAL DESIGN PLANS VERIFY WEIGHTS AND CURB REQUIREMENTS.

# Structural Framing Plan

**MBA**  
MBA Project Management  
N5560 CTH ZM Suite #3  
Onalaska, WI 54650  
608-785-2760

S3.2

10/27/20 P.C.

	Name	Address	
1.	Karen Ehlert	122 Lake St.	Holmen
2.	Pam Johnson	122 Lake St	Holmen
3.	Dax Conely	Cottonwood Ln	Holmen
4.	JEFF OSGOOD	<del>8</del> OAK ST	LACROSSE, WI
5.	Chad McCallie	W5548 OLSON Rd	Holmen
6.	Karen McCallie	W5548 OLSON Rd	Holmen
7.	Bryant Klos	2125 Maydenwood	Oralaska
8.	Mandy Hess	N5952 Apple Blossom TRL	Oralaska
9.	Jason Hess	N5952 Apple Blossom TRL	Oralaska
10.	KEVIN SCHILLING	121 LAKE ST	HOLMEN
11.	Patricia Stover	121 Lake St.	Holmen
12.			
13.			
14.			
15.			
16.			
17.			
18.			
19.			
20.			